

REGIONAL DISTRICT OF NANAIMO
RENOVATION
6300 HAMMOND BAY ROAD
NANAIMO, BC

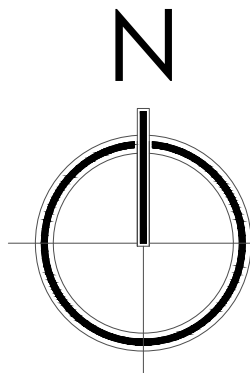
root
interiors

15 Commercial Street, Suite 202
Nanaimo, BC V9R 5G3
T. 604.783.9142 rootinteriors.ca

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ALL DIMENSIONS AND CONDITIONS OF THE
JOBSITE SHALL BE VERIFIED BY THE CONTRACTOR
BEFORE PROCEEDING WITH WORK.



PROJECT DIRECTORY

OWNER

REGIONAL DISTRICT OF NANAIMO
6300 HAMMOND BAY ROAD
NANAIMO, BC
PHONE: 250-390-6507
ATTN.: SHELDON RACZ

ARCHITECT

IAN NAIMATH ARCHITECT
151 SKINNER STREET
NANAIMO, BC
PHONE: 250-756-8786
ATTN.: IAN NAIMATH

INTERIOR DESIGNER

ROOT INTERIORS LTD.
15 COMMERCIAL STREET, SUITE 202
NANAIMO, BC
PHONE: 604-783-9142
ATTN.: SHAUNA ROOT

STRUCTURAL ENGINEER

HEROLD ENGINEERING LTD.
3701 SHENTON ROAD
NANAIMO, BC
PHONE: 250-751-8558 EXT. 126
ATTN.: SEAN HEROLD

CODE DATA

OCCUPANCY USE

GROUP D
OFFICE SPACE

OCCUPANCY LOAD

- LEVEL 1 - 184 PEOPLE
- LEVEL 2 - 117 PEOPLE
- TOTAL OCCUPANT LOAD: 301 PEOPLE

PROJECT AREA

L1 RENOVATION AREA 1: 520 SQ. FT / 48.31 M²
L2 RENOVATION AREA 2: 2550 SQ. FT / 236.9 M²
L2 RENOVATION AREA 3: 100 SQ. FT / 9.3 M²

SUMMARY OF WORK

DEMOLITION OF PARTITION, SUSPENDED CEILING TILE, AND LIGHTING IN SELECT AREAS
OF THE PLAN. NEW DEMOUNTABLE PARTITIONS, SUSPENDED CEILING TILE AND
LIGHTING . HVAC AND SPRINKERS TO BE RELOCATED TO SUIT NEW LAYOUT.

LEGAL DESCRIPTION

LOT 1, DISTRICT LOT 48, WELLINGTON DISTRICT, PLAN 25547, EXCEPT PLAN 39058,
VIP58168 & VIP81160 AND REGIONAL DISTRICT HEADQUARTERS (SEE PT INCL IN
STATUARY RIGHT OF WAY VIP76172-TELECOMM SITE ON 08283.900)

ZONING CS1, CS2

SHEET INDEX

ID0.0	COVER SHEET
ID0.1	KEY PLAN
ID0.21	CODE ANALYSIS PLAN LEVEL 1
ID0.22	CODE ANALYSIS PLAN LEVEL 2
ID0.3	GENERAL NOTES
ID0.4	GENERAL NOTES
ID1.1	DEMOLITION PLAN LEVEL 1
ID1.2	DEMOLITION PLAN LEVEL 2
ID2.1	CONSTRUCTION PLAN LEVEL 1
ID2.2	CONSTRUCTION PLAN LEVEL 2
ID3.1	RCP LEVEL 1
ID3.2	RCP LEVEL 2
ID4.1	FURNITURE PLAN LEVEL 1
ID4.2	FURNITURE PLAN LEVEL 2
ID5.1	FINISH PLAN LEVEL 1
ID5.2	FINISH PLAN LEVEL 2

SYMBOL LEGEND

ELEVATION
REFERENCE

SECTION
REFERENCE

DETAIL
NAME

1 ELEVATION
ID2.3 SCALE: 1/4" = 1'-0"

BREAK LINE

BREAK ARROW

CENTER LINE

WALL TYPE

DOOR TYPE

DOOR NUMBER

NOTE NUMBER

FINISH TAG

CEILING TAG

REVISION NUMBER

CARD READER

SECURITY KEY PAD



CONSULTANT:

CONSULTANT:

1	ISSUED FOR BUILDING PERMIT APPLICATION.	2023.10.13
NO.	REVISION	DATE
SUPERSEDES ALL PRINTS BEARING PREVIOUS REVISION NUMBER		

PROJECT NAME:

REGIONAL DISTRICT OF NANAIMO

6300 HAMMOND BAY ROAD
NANAIMO, BC, V9T 6N2

DRAWING NAME:

COVER SHEET

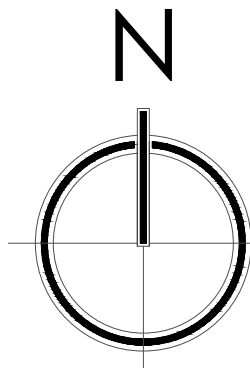
PROJECT NUMBER:	PROJECT DATE:	MARCH 2023
DRAWN: SR	CHECKED:	SR
SCALE:	AS NOTED	
DRAWING NO:		

ID0.0

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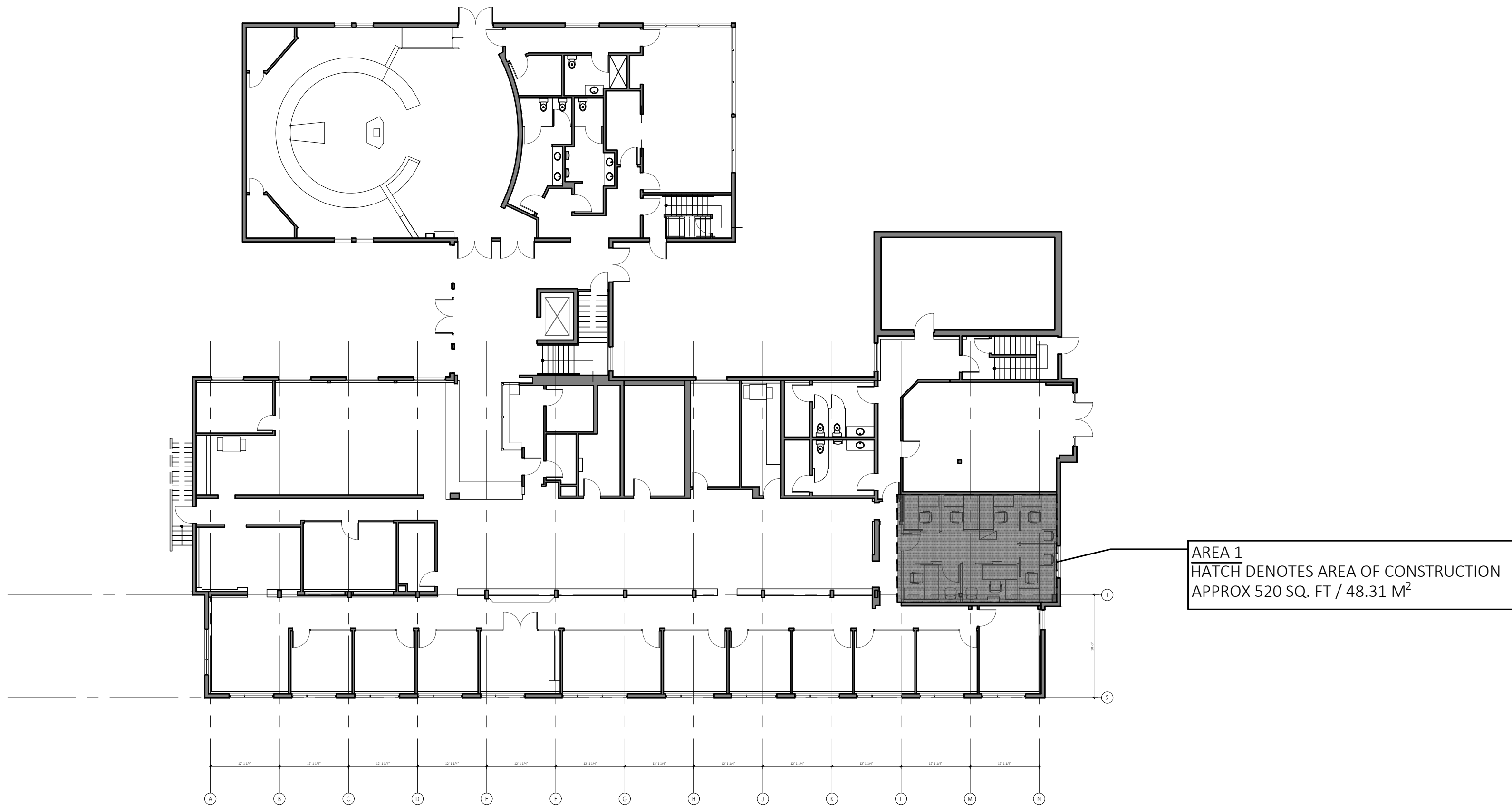
6300 HAMMOND BAY ROAD
NANAIMO, BC, V9T 6N2

DRAWING NAME:

KEY PLAN

PROJECT NUMBER:	PROJECT DATE:	MARCH 2023
DRAWN: SR	CHECKED:	SR
SCALE:	AS NOTED	
DRAWING NO:		

ID0.1



1 KEY PLAN LEVEL 1
SCALE: 1/16" = 1'-0"

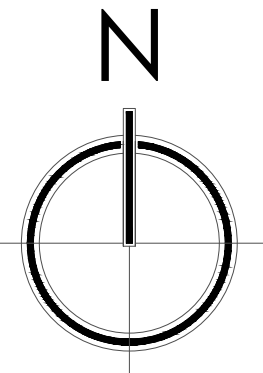


2 KEY PLAN LEVEL 2
SCALE: 1/16" = 1'-0"

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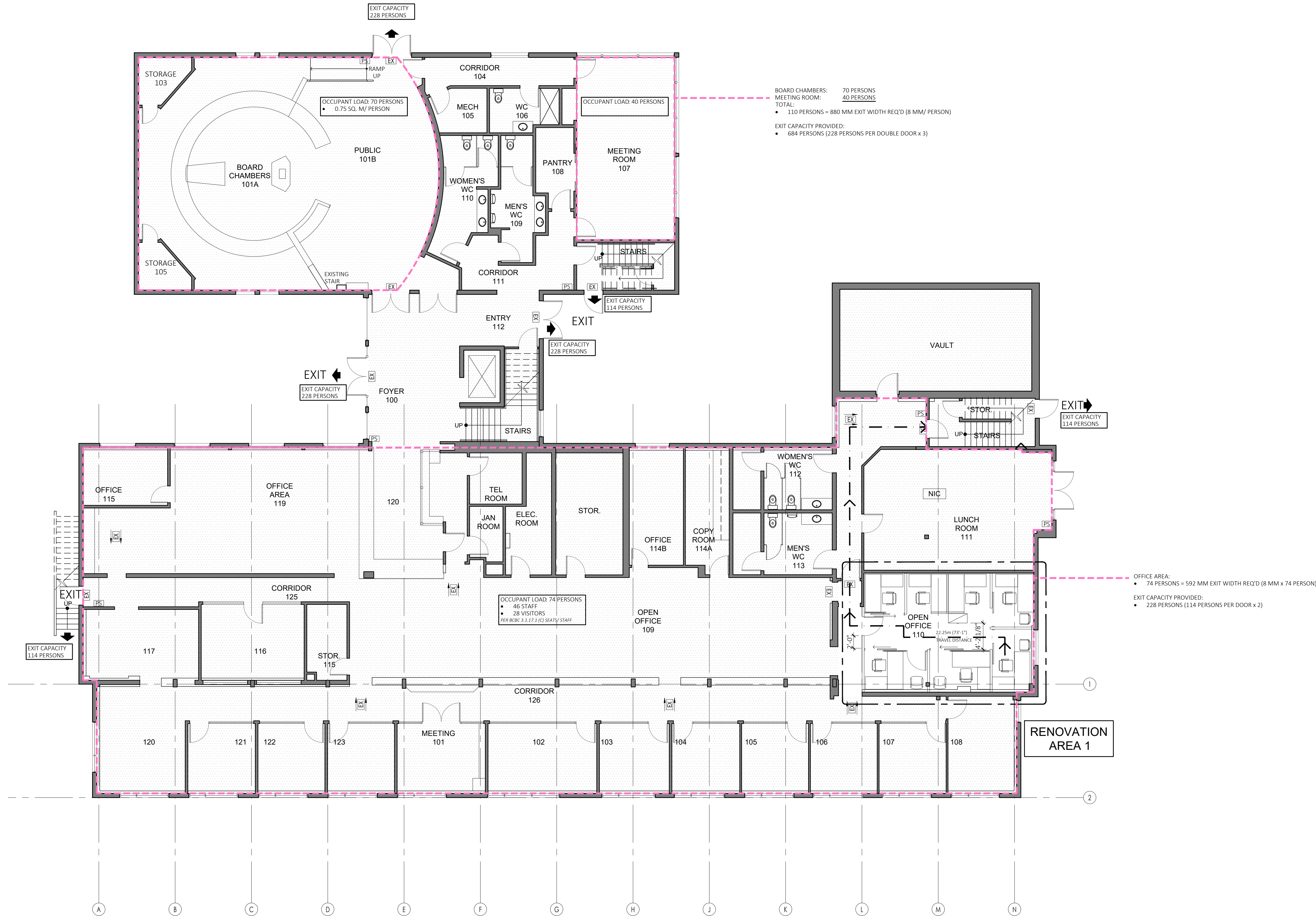
6300 HAMMOND BAY ROAD
NANAIMO, BC, V9T 6N2

DRAWING NAME:

CODE ANALYSIS PLAN
LEVEL 1

PROJECT NUMBER:	PROJECT DATE:	MARCH 2023
DRAWN: SR	CHECKED:	SR
SCALE:	AS NOTED	
DRAWING NO:		

ID0.21



01 00 00 GENERAL REQUIREMENTS

GENERAL

- DO NOT SCALE DRAWINGS.
- PRIOR TO THE COMMENCEMENT OF THE WORK; THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, HEIGHTS AND LEVELS TO IDENTIFY ANY ERRORS AND OMISSIONS. ASCERTAIN ANY DISCREPANCIES BETWEEN THIS DRAWING AND THE FULL CONTRACT DOCUMENTS AND BRING THESE ITEMS TO DESIGNERS ATTENTION FOR CLARIFICATION.
- ROOM SIZES AS SHOWN ARE NOMINAL SIZES ONLY. REFER TO SPECIFIC WALL DIMENSIONS FOR EXACT LOCATION OF ALL PARTITIONS.
- CONTRACTOR TO LAY OUT PARTITIONS AND ADVISE ROOT INTERIORS OF ANY DISCREPANCIES IN DIMENSIONS PRIOR TO PROCEEDING WITH INSTALLATION.
- CONTRACTOR TO RETAIN SERVICE OF A STRUCTURAL ENGINEER, REGISTERED TO PRACTICE IN THE PROVINCE OF BC, TO PROVIDE LETTER(S) OF SEISMIC ASSURANCE FOR FREESTANDING OR SUSPENDED SIGNAGE AND LIGHTING ELEMENTS. CONTRACTOR TO PAY ALL ASSOCIATED FEES.
- ALL DIMENSIONS ARE TO CENTER LINES OF PARTITIONS UNLESS OTHERWISE NOTED. WHERE DIMENSIONS ARE TO EXISTING BUILDING ELEMENTS OR NEW FURRING, THE DIMENSION IS FROM THE FINISHED FACE OF THE ELEMENT (E.G., COLUMN, WALL, CONVECTOR CABINET, FURRING, ETC.).

COORDINATION

- GENERAL CONTRACTOR IS TO COORDINATE THE SCOPE OF WORK OF THE ELECTRICAL, SPRINKLER AND MECHANICAL CONTRACTORS AND HIS OWN WORK TO AVOID CONFLICTS IN THE PLACEMENT OF ARCHITECTURAL ELEMENTS, LIGHTING FIXTURES, DIFFUSERS, LIFE SAFETY ITEMS, SPRINKLERS, HVAC GRILLES, ELECTRICAL OUTLETS, SWITCHES, AND THERMOSTATS AND ASSOCIATED MATERIALS AND EQUIPMENT, PRIOR TO INSTALLATION.
- THE GENERAL CONTRACTOR IS TO ENSURE THAT ALL INTENDED FINISHING MATERIALS & COMPONENTS, MILLWORK, LIGHTING, EQUIPMENT AND FIXTURES WILL FIT WITHIN THE SPACES SHOWN IN THE INTERIOR DESIGN, MECHANICAL, STRUCTURAL AND ELECTRICAL DRAWINGS WHEN SETTING OUT HIS WORK AND BEFORE ORDERING MATERIALS. ADVISE ROOT INTERIORS IMMEDIATELY OF ANY CONFLICTS.
- CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS FROM AUTHORITIES HAVING JURISDICTION TO ENSURE THE WORK IS CARRIED OUT. BUILDING PERMIT WILL BE OBTAINED BY IAN NAIMATH ARCHITECTS ON BEHALF OF THE REGIONAL DISTRICT OF NANAIMO. CONTRACTOR IS TO FURNISH DOCUMENTATION, WHEN REQUESTED, AS EVIDENCE THAT WORK CONFORMS TO THE CODES AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION. GENERAL CONTRACTOR TO APPLY FOR AND ENSURE THAT OCCUPANCY PERMIT IS GRANTED. PROOF OF APPLICATION AND ACCEPTANCE MUST BE FORWARDED TO IAN NAIMATH ARCHITECTS.
- CONTRACTOR TO CALL ALL REQUIRED INSPECTIONS FOR ROOT INTERIORS APPROVAL AS STIPULATED IN THE CONTRACT DOCUMENTS.
- ALL MECHANICAL, ELECTRICAL AND LIFE SAFETY SYSTEMS IN THE BUILDING (E.G. LIGHTS, FIRE, SMOKE DETECTION AND SECURITY SYSTEMS, SPRINKLER SYSTEMS, ETC.) ARE TO REMAIN INTACT AND FULLY OPERATIONAL AT ALL TIMES DURING THIS PROJECT. IF THESE SYSTEMS ARE TO BE INTERRUPTED, PRIOR CONSENT MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE. THE OWNER'S REPRESENTATIVE MUST BE NOTIFIED 2 DAYS IN ADVANCE OF THE SERVICE INTERRUPTION.
- SITE/PROGRESS MEETINGS - DURING THE COURSE OF CONSTRUCTION THE GENERAL CONTRACTOR (GC) IS RESPONSIBLE FOR CHAIRING THE MEETINGS AND RECORDING THE MINUTES (INCLUDING SIGNIFICANT PROCEEDINGS & DECISIONS AND IDENTIFYING ACTIONS REQUIRED BY PARTIES). WITHIN 2 DAYS AFTER EACH MEETING, THE CONTRACTOR MUST TRANSMIT COPIES OF THE MEETING MINUTES TO MEETING PARTICIPANTS AND AFFECTED PARTIES NOT IN ATTENDANCE.
- ACCESS TO TENANT SPACES ADJACENT TO THE PROJECT SPACE IS TO BE COORDINATED THROUGH THE SHELTON RACZ AT THE RDN.
- THERMOSTATS, ELECTRICAL OUTLETS AND LIGHT SWITCH LOCATIONS TO BE CONFIRMED WITH ROOT INTERIORS PRIOR TO ROUGH IN.

CLEANING

- THE CONTRACTOR SHALL CARRY OUT CLEANING, DURING PROGRESS OF THE WORK AND AT COMPLETION OF THE WORK, AS REQUIRED BY THE GENERAL CONDITIONS.
- WHERE AFTER HOURS WORK OCCURS IN OCCUPIED OR PUBLIC AREAS, THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND DEBRIS ON A DAILY BASIS WELL BEFORE THE START OF NORMAL OPERATIONS AT 7:00am MONDAY TO FRIDAY. THE WORK SITE AND ADJACENT AREAS SHALL BE VACUUMED ON A DAILY BASIS AND LEFT CLEAN, NEAT AND TIDY AFTER EACH WORKING PERIOD.
- THE CONTRACTOR SHALL PROVIDE DISPOSAL CONTAINERS, AND ARRANGE FOR REMOVAL AND DISPOSAL OF WASTE AS REQUIRED IN COMPLIANCE WITH ALL LOCAL CODES, ORDINANCES, REGULATIONS AND ANTI-POLLUTION LAWS.
- THE CONTRACTOR SHALL ENSURE THAT ALL GLAZING IS CLEANED UPON INSTALLATION AND AGAIN AT THE CONCLUSION OF CONSTRUCTION IN THE IMMEDIATE AREA. FINAL CLEANING TO INCLUDE ALL NEW, EXISTING GLAZING.
- THE CONTRACTOR SHALL ENSURE THAT ALL CEILING TILE IS REPLACED AS THE WORK PROCEEDS TO ENSURE PROPER OPERATION OF THE BUILDING SYSTEMS.
- THE CONTRACTOR SHALL USE ONLY THOSE CLEANING MATERIALS WHICH WILL NOT CREATE HAZARDS TO HEALTH OR PROPERTY AND WHICH WILL NOT DAMAGE SURFACES; AND THOSE CLEANING MATERIALS AND METHODS RECOMMENDED BY THE MANUFACTURER OF THE SURFACE MATERIAL TO BE CLEANED.

- THE CONTRACTOR SHALL EMPLOY SKILLED WORKERS FOR FINAL CLEANING AS FOLLOWS:
 - CLEAN AND POLISH GLASS, MIRRORS, HARDWARE, WALL TILE, STAINLESS STEEL, CHROME, PORCELAIN, ENAMEL, BAKED ENAMEL, PLASTIC LAMINATE, MECHANICAL AND ELECTRICAL FIXTURES. REPLACE GLASS BROKEN, SCRATCHED OR DISFIGURED AS A RESULT OF THE WORK.
 - REMOVE STAINS, SPOTS, MARKS AND DIRT FROM DECORATIVE WORK, ELECTRICAL AND MECHANICAL FIXTURES, FITMENTS, WALLS AND FLOORS.
 - VACUUM CLEAN AND DUST ALL BUILDING INTERIORS, BEHIND GRILLES, LOUVERS AND SCREENS WITHIN THE TENANT SPACE.
 - CLEAN LENSES AND COFFER SIDES OF LIGHT FIXTURES UPON COMPLETION.
 - WAX, SEAL, SHAMPOO OR PREPARE ALL FLOOR FINISHES, AS RECOMMENDED BY THE MANUFACTURER.
 - MAKE A THOROUGH INSPECTION OF ALL FINISHES, FITMENTS AND EQUIPMENT AND ENSURE PROPER WORKMANSHIP AND OPERATION. REMOVE ALL DIRT AND OTHER DISFIGURATIONS FROM EXTERIOR SURFACES.
 - PRIOR TO OCCUPANCY OR TOTAL COMPLETION, THE CONTRACTOR SHALL CONDUCT AN INSPECTION OF SIGHT-EXPOSED INTERIOR AND EXTERIOR SURFACES AND ALL WORK AREAS TO VERIFY THAT THE ENTIRE WORK AREA IS CLEAN.
 - NON-COMPLIANCE BY THE CONTRACTOR WITH THE ABOVE WILL RESULT IN THE CONTRACTOR BEING BILLED FOR DAILY CLEANING COSTS AS INCURRED BY THE THE OWNER.

QUALITY OF WORKMANSHIP

- ALL WORKMANSHIP AND METHODS OF CONSTRUCTION TO CONFORM TO THE LATEST EDITION OF NATIONAL, PROVINCIAL, CITY AND MUNICIPAL CODE & ACTS AND WILL MEET ALL THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION AND THE HIGHEST STANDARDS CURRENTLY PRACTICED IN THE INDUSTRY. ALL MATERIALS SHALL BE NEW AND AS SPECIFIED.
- ALL WORKMANSHIP AND MATERIALS TO BE GUARANTEED FOR ONE YEAR FROM SUBSTANTIAL COMPLETION FOR ANY DEFECTS, INCLUDING ALL WORK IN THIS CONTRACT. ALL REMEDIAL WORK REQUIRED WILL BE PERFORMED AT NO COST TO THE OWNER.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE CONDITION OF MATERIALS, COMPONENTS AND EQUIPMENT SUPPLIED AND WILL PROTECT THE SAME UNTIL THE WORK IS COMPLETED AND ACCEPTED BY ROOT INTERIORS.

SAMPLES & ALTERNATES

- SAMPLES: PRIOR TO THE PLACEMENT OF ANY ORDERS THE GENERAL CONTRACTOR IS TO SUBMIT TO THE CONSULTANT FOR REVIEW, SAMPLES OF ALL FINISHES IN DUPLICATE. LABEL SAMPLES AS TO ORIGIN AND INTENDED USE IN THE WORK. DELIVER SAMPLES PREPAID TO CONSULTANT'S BUSINESS ADDRESS. NOTIFY CONSULTANT IN WRITING, AT THE TIME OF SUBMISSION OF DEVIATIONS IN SAMPLES FROM REQUIREMENTS OF CONTRACT DOCUMENTS. ADJUSTMENTS MADE ON SAMPLES BY THE CONSULTANT ARE NOT INTENDED TO CHANGE THE CONTRACT PRICE. IF ADJUSTMENTS AFFECT THE VALUE OF WORK, STATE SUCH IN WRITING TO THE CONSULTANT PRIOR TO PROCEEDING WITH THE WORK. MAKE CHANGES IN SAMPLES WHICH THE CONSULTANT MAY REQUIRE CONSISTENT WITH CONTRACT DOCUMENTS.
- SUBMIT WITHIN TEN (10) DAYS OF CONTRACT AWARD, EVIDENCE THAT APPROVED ORDERS FOR ALL MATERIALS HAVE BEEN PLACED AND PROVIDE DELIVERY DATES TO INDICATE THE CORRECT MATERIAL WILL BE DELIVERED TO THE SITE AS PER REQUIRED SCHEDULE. FAILURE OF ON-SITE WORK TO MATCH APPROVED SAMPLES WILL BE CAUSE FOR REJECTION OF WORK. THE CONTRACTOR WILL BE REQUIRED TO EXPEDITE REPLACEMENT OF ALL REJECTED WORK AND MAKE GOOD AT NO ADDITIONAL COST TO THE OWNER IF MATERIALS ARE NOT ORDERED WITHIN TIME STATED.
- ALTERNATE EQUIPMENT, MATERIALS OR METHODS OF CONSTRUCTION: THE CONTRACT PRICE IS BASED ON THE MATERIALS AND EQUIPMENT SPECIFIED. REQUEST FOR ALTERNATES MAY BE SUBMITTED FOR CONSIDERATION UNLESS OTHERWISE NOTED IN THE DOCUMENTS. APPROVALS FOR ALTERNATES MUST BE SUBMITTED TO ROOT INTERIORS FIVE (5) DAYS BEFORE THE CLOSE OF THE TENDER.
- ALTERNATES ARE TO BE SUBMITTED TO THE CONTRACTOR FOR REVIEW. IF THE CONTRACTOR DEEMS THE SUBMISSION TO HAVE MERIT AND IS PRICE COMPETITIVE HE WILL FORWARD DOCUMENTATION TO THE CONSULTANT FOR REVIEW.
- DOCUMENTATION MUST PROVIDE A SIDE BY SIDE COMPARISON OF THE SPECIFIED PRODUCT AND THE PROPOSED ALTERNATE. THE SIDE BY SIDE COMPARISON FOR SPECIFIED AND ALTERNATE PRODUCT MUST INCLUDE: RESULTS FROM TESTS (E.G. ULC, ASTM, ETC.), WARRANTY, DURABILITY AND REFERENCES (PREVIOUS INSTALLATIONS). MATERIAL & FINISH SAMPLES AS WELL AS PRODUCT LITERATURE ARE TO BE SUBMITTED WITH THE COMPARISON.
- WHEN AN ALTERNATE IS ACCEPTED BY THE CONSULTANT, ALL REVISIONS TO THE WORK REQUIRED TO ADAPT THE ACCEPTED ALTERNATES SHALL BE DEEMED TO BE IN THE CONTRACT PRICE. NO INCREASE IN PRICE WILL BE CONSIDERED TO ACCOMMODATE THE USE OF ITEMS OTHER THAN THOSE SPECIFIED IN THESE DOCUMENTS.

SHOP DRAWINGS & SUBMITTALS

- THE CONTRACTOR MUST REVIEW AND STAMP SHOP DRAWINGS & SUBMITTALS PRIOR TO SUBMISSION TO ROOT INTERIORS. SUBMITTALS NOT STAMPED, SIGNED, DATED AND IDENTIFIED AS TO THE SPECIFIC PROJECT WILL BE REJECTED.
- THIS REVIEW REPRESENTS THAT NECESSARY REQUIRMENTS HAVE BEEN DETERMINED AND VERIFIED, OR WILL BE AND THAT EACH SUBMITTAL HAS BEEN CHECKED AND COORDINATED WITH THE REQUIREMENTS OF THE WORK AND THE CONTRACT DOCUMENTS. CONTRACTOR'S REVIEW OF SUBMITTALS IS TO INCLUDE THE FOLLOWING:
 - REVIEW SUBMISSION FOR COMPLETENESS.
 - REVIEW ALL SITE MEASUREMENTS AND DIMENSIONS TO ENSURE THE COMPONENTS IN THE SHOP DRAWINGS WILL FIT INTO THE SITE AS INTENDED.
 - REVIEW METHODS OF CONSTRUCTION AND ATTACHMENT OR ANCHORAGE, CONNECTIONS AND OTHER INFORMATION NECESSARY FOR COMPLETION OF WORK.
 - REVIEW WHERE ARTICLES OR EQUIPMENT ARE CONNECTED TO OTHER ARTICLES REGARDLESS OF THE SECTION OR SUB-TRADE THAT WILL SUPPLY AND INSTALL THE ADJACENT ITEMS.
 - IDENTIFICATION, RESOLUTION AND COORDINATION OF ISSUES RELATED TO ADJACENT ARTICLES + EQUIPMENT REGARDLESS OF WHICH TRADES ARE RESPONSIBLE.
- WHERE THE PRODUCTS CANNOT BE INSTALLED AS INTENDED, CONTRACTOR IS TO PREPARE WRITTEN OUTLINE OF VARIATIONS TO ITEMS SPECIFIED AND REVISE OR SUGGEST ALTERNATE DETAILS IF REQUIRED.
- SHOP DRAWINGS: CONTRACTOR IS TO SUBMIT IN PDF FORMAT COMPLETE SETS OF SHOP DRAWINGS FOR ROOT INTERIORS'S REVIEW. ADJUSTMENTS/NOTES MADE ON SHOP DRAWINGS BY ROOT INTERIORS ARE NOT INTENDED TO CHANGE THE CONTRACT PRICE. IF ADJUSTMENTS AFFECT THE VALUE OR WORK, STATE SUCH IN WRITING TO ROOT INTERIORS PRIOR TO PROCEEDING WITH THE WORK OR ORDERING MATERIALS.
- SHOP DRAWINGS & SUBMITTALS ARE REQUIRED FOR: MILLWORK & DOORS, GLAZING, AND DOORS. CONTRACTOR MUST SUBMIT A DETAILED HARDWARE SCHEDULE FOR ROOT INTERIORS'S APPROVAL PRIOR TO ORDERING HARDWARE. RETURN SHOP DRAWINGS IN THE SAME UNIT OF MEASURE AS ID DRAWINGS.
- PROVIDE SAMPLES OF ALL PAINT & CLEAR WOOD COATINGS, TILE, AND METALS FOR ROOT INTERIORS'S REVIEW. ALL WOOD FINISH SAMPLES TO BE 12"x12" MINIMUM AND MUST BE COMPLETE WITH WOOD/VENEER SPECIFIED IN FINISH LEGEND.

CHANGE ORDER PRICING

- GENERAL CONTRACTOR AND ALL SUB-TRADES SUBMITTING PRICING FOR A CHANGE ORDER MUST PROVIDE CLEAR DETAILED COSTING. THIS INFORMATION MUST INCLUDE LABOUR COSTS (HOURS AND LABOUR RATES), MATERIAL COST (QUANTITIES AND UNIT PRICES) AND ALL MARKUPS FOR PROFIT AND OVERHEAD CHARGED ON THE LABOUR OR MATERIALS FOR THE SCOPE OF WORK DESCRIBED IN THE CHANGE ORDER.

COMMISSIONING & SUBSTANTIAL COMPLETION

- PRIOR TO SUBSTANTIAL COMPLETION THE CONTRACTOR IS TO COMMISSION ALL MECHANICAL AND ELECTRICAL SYSTEMS AT A TIME CONVENIENT TO THE OWNER OF THE PROJECT, THE CONTRACTOR WILL SCHEDULE A TIME TO DEMONSTRATE EQUIPMENT OPERATIONS, CONTROLS AND MAINTENANCE OF THE MECHANICAL & ELECTRICAL SYSTEMS.
- CONTRACTOR TO KEEP AN EXTRA SET OF ARCHITECTURAL DRAWING PRINTS ON SITE AND RECORD CHANGES & DEVIATIONS DAILY. UPON COMPLETION OF WORK, CONTRACTOR TO SUBMIT MARKED UP DRAWINGS TO ROOT INTERIORS. ALLOW \$2,500.00 FOR ROOT INTERIORS TO TRANSFER SITE CHANGES INTO CAD FORMAT AND PROVIDE CLIENT WITH 2 SETS OF AS-BUILT DRAWING PRINTS AND AN AUTOCAD 2013 FORMAT DRAWING.
- INTERIOR DESIGN MANUALS: AT THE TIME OF SUBSTANTIAL COMPLETION, THE CONTRACTOR IS TO SUBMIT TWO (2) SETS OF MANUALS CONTAINING THE FOLLOWING INFORMATION: ADDRESSES AND CONTACTS OF ALL THE MATERIALS AND EQUIPMENT SUPPLIERS, MANUFACTURER'S LITERATURE AND SHOP DRAWINGS OF EXTENDED WARRANTIES, FINAL INSPECTION SLIPS SIGNED BY THE BUILDING INSPECTOR, COPIES OF ALL SCHEDULE C DOCUMENTATION ISSUED BY CONSULTANTS FOR THE PROJECT, COPY OF THE FIRE ALARM VERIFICATION AND REPORT, COPIES OF FIRE PROOFING SHOP DRAWINGS FOR PRODUCTS USED ON THE PROJECT AND A COPY OF THE OCCUPANCY PERMIT ISSUED BY THE AUTHORITY HAVING JURISDICTION.
- ALLOW FOR FINAL GENERAL CLEAN UP AT COMPLETION OF THE PROJECT. CLEANING TO BE DONE BY QUALIFIED WORKMEN.
- SUBSTANTIAL COMPLETION INSPECTION: CONTRACTOR IS TO ADVISE IAN NAIMATH ARCHITECTS & ROOT INTERIORS, IN WRITING 7 DAYS PRIOR TO THE DATE OF INSPECTION DESIRED. ROOT INTERIORS WILL PERFORM ONE SITE INSPECTION TO CONFIRM SUBSTANTIAL COMPLETION OF THE PROJECT AND ONE FINAL INSPECTION WHEN ALL DEFICIENCIES ARE COMPLETED, OR REQUESTED BY THE CONTRACTOR OVER AND ABOVE THE FINAL INSPECTION. THE COSTS FOR ADDITIONAL INSPECTIONS WILL BE BILLED TO THE CONTRACTOR AT IAN NAIMATH ARCHITECTS & ROOT INTERIORS'S CURRENT HOURLY RATES. THE CONTRACTOR IS RESPONSIBLE TO CONFIRM AND PROVIDE DOCUMENTATION AND INFORMATION REQUIRED BY CONSULTANTS TO ISSUE THE LETTERS OF ASSURANCE. CONTRACTOR IS TO DO THIS IN A TIMELY MANNER TO ENSURE FINAL CITY INSPECTIONS AND OCCUPANCY ARE OBTAINED.
- CONTRACTOR IS TO MAKE GOOD ANY DAMAGE AND DEFECTS IN THE CONTRACT WORK OR WORK REJECTED BY THE CONSULTANT FOR NOT CONFORMING WITH THE CONTRACT DOCUMENTS.
- HOLDBACK AMOUNTS FOR DEFICIENT WORK WILL BE CALCULATED BY DOUBLING THE VALUE OF THE DEFICIENT WORK. THE VALUE OF THE WORK DEEMED DEFICIENT WILL BE DETERMINED BY ROOT INTERIORS.

02 00 00 EXISTING CONDITIONS

- DURING THE PRICING PERIOD IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ALL SUB-TRADES TO VERIFY ALL EXISTING CONDITIONS AS SHOWN ON THESE DRAWINGS WITH ACTUAL SITE CONDITIONS. ANY DISCREPANCIES TO BE REPORTED TO ROOT INTERIORS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND/OR INSTALLATION. ANY EXTRAS WHICH A VISIT TO SITE WOULD HAVE MADE APPARENT WILL NOT BE ALLOWED.
 - GENERAL CONTRACTOR TO BE FAMILIAR WITH MANDATORY AND APPROVED TRADES PERMITTED TO WORK IN THE BUILDING.
 - CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING BUILDING FINISHES AND CONTENTS DURING ENTIRE PERIOD OF CONSTRUCTION AND WILL BE RESPONSIBLE FOR ALL DAMAGE CAUSED TO THE BUILDING.
 - CONTRACTOR TO PROVIDE TEMPORARY FLOOR PROTECTION TO NEW AND EXISTING FLOOR FINISHES WITH RAM BOARD AND RAM TAPE.
- 02 24 00 DEMOLITION
- PATCH AND REPAIR REMAINING SURFACES WHERE DEMOLITION HAS OCCURRED. PATCHING TO BE COMPLETED TO THE POINT WHERE SURFACES ARE READY TO RECEIVE NEW APPLICATION OF PAINT.
 - REMOVE ALL DEBRIS AND VACUUM CLEAN TO LEAVE ALL SURFACES FREE OF CONSTRUCTION DUST.
 - THE CONTRACTOR SHALL PROTECT FURNITURE AND EQUIPMENT FROM DUST AT ALL TIMES. EXTRA MEASURES ARE REQUIRED TO PROTECT THE COMPUTER EQUIPMENT. COMPUTER EQUIPMENT SHALL NOT BE MOVED OR DISCONNECTED OR OTHERWISE AFFECTED.
 - AREAS WHERE DUST-PRODUCING WORK IS TO BE PERFORMED SHALL BE SEALED OFF FROM THE RETURN AIR PLENUM. ANY DAMAGE RESULTING FROM DUST SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - THE CONTRACTOR SHALL PROTECT EXISTING BUILDING FINISHES AND SERVICES NOT AFFECTED BY THE MODIFICATIONS.

06 10 00 ROUGH CARPENTRY

- CONTRACTOR TO SUPPLY AND INSTALL WOOD BLOCKING, BACKING AND NAILERS BUILT INTO WALLS BEFORE INSTALLATION OF CEILING AND WALL MOUNTED EQUIPMENT (DIGITAL DISPLAYS), CASEWORK, AND DOORS, AS WELL AS MISCELLANEOUS BLOCKING THROUGHOUT TO ENSURE THAT ITEMS ARE SAFELY AND SECURELY FASTENED.

06 40 00 ARCHITECTURAL WOODWORK

- ALL MILLWORK FINISHES SPECIFIED ARE TO BE SUBMITTED FOR ROOT INTERIORS APPROVAL PRIOR TO APPLICATION.
- ALL FINISHED MATERIAL, GRADING RULES, MACHINING AND WORKMANSHIP TO CONFORM TO THE STANDARDS OF THE ARCHITECTURAL WOODWORK MFG. ASSOC. OF CANADA'S LATEST EDITION FOR CUSTOM GRADE WORK.
- DETAILS SHOWN ARE FOR DESIGN INTENT ONLY AND ARE NOT INTENDED TO SUPERSEDE FABRICATION METHODS.
- GENERAL CONSTRUCTION TO BE $\frac{3}{4}$ " MDF UNLESS OTHERWISE NOTED. FINISHES AS SPECIFIED.
- CONTRACTOR TO CONFIRM DIMENSIONS OF ALL EQUIPMENT AND FIXTURES TO BE INCORPORATED IN THE MILLWORK WITH THE CLIENT AND ROOT INTERIORS PRIOR TO SUBMISSION OF SHOP DRAWINGS. PROVIDE FILLER STRIPS AS REQUIRED, ADJACENT TO ALL EQUIPMENT.
- COMPOSITE WOOD AND AGRIFIBER PRODUCTS, INCLUDING CORE MATERIALS, MUST CONTAIN NO ADDED UREA FORMALDEHYDE RESINS. LAMINATE ADHESIVES USED TO FABRICATE ON-SITE AND SHOP APPLIED ASSEMBLIES CONTAINING THESE LAMINATE ADHESIVES MUST CONTAIN NO UREA-FORMELDEHYDE.

root
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CONSULTANT:

CONSULTANT:

1	ISSUED FOR BUILDING PERMIT APPLICATION.	2023.10.13
NO.	REVISION	DATE
SUPERSEDES ALL PRINTS BEARING PREVIOUS REVISION NUMBER		

PROJECT NAME:

REGIONAL DISTRICT OF NANAIMO

6300 HAMMOND BAY ROAD
NANAIMO, BC, V9T 6N2

DRAWING NAME:

GENERAL
NOTES

PROJECT NUMBER:	PROJECT DATE:	MARCH 2023
DRAWN: SR	CHECKED:	SR
SCALE:		N/A
DRAWING NO:		

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CONSULTANT:

CONSULTANT:

4 ISSUED FOR BUILDING PERMIT APPLICATION: 2023.10.13

NO. REVISION

DATE

SUPERSEDES ALL PRINTS BEARING PREVIOUS REVISION NUMBER

PROJECT NAME:

REGIONAL DISTRICT OF NANAIMO

6300 HAMMOND BAY ROAD
NANAIMO, BC, V9T 6N2

DRAWING NAME:

GENERAL
NOTES

PROJECT NUMBER: PROJECT DATE: MARCH 2023

DRAWN: SR CHECKED: SR

SCALE: N/A

DRAWING NO:

ID0.4

07 80 00 FIRE & SMOKE PROTECTION

- PIPES, DUCTS, ETC. PENETRATING FIRE SEPERATION PARTITIONS MUST HAVE A FIRE RESISTANT RATING AND SHALL BE NON-COMBUSTIBLE UNLESS OTHERWISE ALLOWED BY BUILDING CODE ("FIRE SEPARATIONS & FIRE RATED ASSEMBLIES" SECTION).
- ALL NEW OR EXISTING PENETRATIONS THROUGH SLAB AND FIRE-RATED WALLS TO BE FIRE-STOPPED AND CONFORM TO CAN. 4-S115. FIRE-STOPPING SYSTEM TO HAVE U.L. CLASSIFICATION. PROVIDE MANUFACTURER'S LITERATURE TO ROOT INTERIORS.
- ALL SERVICE FACILITIES INCLUDING DUCTWORK, PIPING, ETC. ABOVE SUSPENDED CEILING SHALL BE INSTALLED IN CONFORMANCE WITH THE REQUIREMENTS OF THE APPROPRIATE PROVINCIAL OR MUNICIPAL LEGISLATION OR, IN THE ABSENCE OF SUCH LEGISLATION, TO THE REQUIREMENTS OF CSA-1 AND "CANADIAN ELECTRICAL CODE, PART 1".
- ALL PIPES, WIRES, ETC., ENTERING, LEAVING, OR PASSING THROUGH A FIRE WALL (FLOOR) OR FIRE-RATED WALL, MUST BE SMOKE & FIRE-PROOFED WITH ULX APPROVED MATERIALS COMPLYING TO CAN 4-S01 REF. 3.1.7.1.1.(2).
- FIRESTOPPING PRODUCTS SHALL HAVE THE ABILITY TO PROVIDE A MINIMUM OF STC 55 AND HAVE VOLATILE ORGANICE COMPOUNT (VOC) OF LESS THAN 250 G/L.
- WHEN SPRAY-ON FIRE PROOFING FOAM INSULATION HAS BEEN DISTURBED OR REMOVED IT IS TO BE REPLACED AND IS TO MEET ALL FIRE CODE REQUIREMENTS.

08 10 00 DOORS, 08 70 00 FRAMES & HARDWARE

- ALL WOOD VENEERED AND PAINT GRADE DOORS TO BE SOLID CORE CONSTRUCTION UNLESS OTHERWISE NOTED.
- ALL SOLID CORE DOORS TO HAVE MINIMUM STC RATING OF 32 AND HAVE THICKNESS OF 1-3/4"
- ALL SOLID CORE DOORS TO HAVE AWMAC NO#3 EDGE UNLESS OTHERWISE NOTED.
- ALL NON-FIRE RATED WOOD VENEER DOORS TO BE LYNDEN LD2000 OR APPROVED ALTERNATE.
- PAINT GRADE DOORS TO HAVE KNOT-FREE SOLID POPLAR FRAMES OR APPROVED ALTERNATE.
- ALL DOORS NOT RECEIVING WEATHER STRIPPING OR SOUND GASKETS ARE TO RECEIVE CLEAR PLASTIC DOOR MUTES.
- CONFIRM AND COORDINATE WALL THICKNESS FOR NEW DOOR FRAMES.
- DO NOT PAINT OVER FIRE RATED OR ACOUSTIC RATED LABELS ON NEW OR EXISTING DOORS AND FRAMES.
- INSTALL HARDWARE AT STANDARD MOUNTING HEIGHTS UNLESS OTHERWISE NOTED.
- ALL DOORS TO RECEIVE FLOOR MOUNTED DOORSTOPS UNLESS OTHERWISE NOTED. FINISH TO MATCH HARDWARE.
- ALL DOORS EXCEEDING 7'-0" SHALL HAVE 4 HINGES. DOORS 7'-0" OR SHORTER IN HEIGHT TO HAVE 3 HINGES.
- CONTRACTOR MUST SUBMIT A DETAILED HARDWARE SCHEDULE FOR CONSULTANTS APPROVAL PRIOR TO ORDERING HARDWARE.

08 80 00 GLAZING

- GLASS PANELS ARE TO BE 10mm TEMPERED GLASS, UNLESS OTHERWISE NOTED.
- ANY GLASS PANELS EXCEEDING 6'-0" IN LENGTH OR WIDTH ARE TO BE 12mm TEMPERED GLASS.
- DIRECT ADHESIVE APPLIED TO DRYWALL TO BE DOW CORNING NEUTRAL CURE 745C SILICONE SEALANT. 1" DOLLOP TO BE APPLIED EVERY 12"-18".
- ADHESIVES MUST NOT REACT WITH PAINT OR BE VISIBLE THROUGH THE GLASS.

09 00 00 FINISHES

- ALL FINISHES TO HAVE A MAXIMUM FLAME SPREAD RATING NOT EXCEEDING 150. WALL & CEILING FINISHES TO BE TESTED USING CAN/ULC S102-03 AND FLOOR FINISHES ACCORDING TO CAN/ULC S102.2-03.
- FINISH NEW DEMISING WALLS ON CORRIDOR SIDE TO MATCH EXISTING UNLESS OTHERWISE NOTED.
- INSTALLATION OF ALL NEW FINISHES TO BE IN ACCORDANCE WITH MOST CURRENT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
- ADHESIVES, SEALANTS AND SEALANT PRIMERS MUST NOT EXCEED SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE #1168 FOR VOC CONTENT, REQ'TS IN EFFECT OCTOBER 2017.
- AEROSOL ADHESIVES MUST MEET GREEN SEAL STANDARD GS-36 REQ'TS IN EFFECT OCT. 12, 2013.

09 20 00 PLASTER & GWB

- WHERE SERVICES SUCH AS MECHANICAL DUCTS OR PIPES RUN PARALLEL TO ANY FULL HEIGHT PARTITIONS, OR PARTITIONS TO HAVE SOUND BAFFLES CONSTRUCTED ABOVE IN THE CEILING PLENUM, CONSTRUCT PARTITIONS AND SOUND BAFFLES AROUND THE SERVICES, UNLESS OTHERWISE NOTED.
- ALL PARTITIONS TO BE INSTALLED SO AS TO NOT OBSTRUCT ACCESS TO LIGHT FIXTURES FOR MAINTENANCE PURPOSES. ADVISE ROOT INTERIORS OF ANY CONFLICT PRIOR TO CONSTRUCTION OF PARTITIONS.
- GENERAL CONTRACTOR AND/OR SUB-TRADES TO VERIFY ALL DIMENSIONS AND CONDITIONS AS SHOWN ON THIS DRAWING SET WITH ACTUAL SITE CONDITIONS. ANY DISCREPANCIES TO BE REPORTED TO ROOT INTERIORS PRIOR TO PROCEEDING WITH CONSTRUCTION OR INSTALLATION.

09 50 00 CEILINGS

- FOR ALL RENOVATION PROJECTS 3,000 SQUARE FEET OR LESS THAT CONTAIN A ROOM THAT IS EQUAL TO OR LARGER THAN 20'-0" X 20'-0", A SINGLE RIGID STRUT MUST BE INSTALLED IN THE CENTER OF THE ROOM, WITH 4 WIRES (1 IN EACH CORNER) TO SEISMIC THIS APPLICATION WILL NOT REQUIRE A SEISMIC ENGINEER. CONTRACTOR IS TO CARRY COSTS FOR UPGRADING ALL CEILINGS THAT MEET THESE CRITERIA.
- CEILING TILES TO HAVE MAXIMUM FSR NOT GREATER THAN 150.
- GENERAL CONTRACTOR TO CONSULT WITH ROOT INTERIORS BEFORE MAKING ANY CHANGES TO THE LIGHT FIXTURE LAYOUT AS SHOWN.
- GENERAL CONTRACTOR TO REPLACE ALL BROKEN, STAINED, MARKED-UP, CRACKED OR OTHERWISE DAMAGED CEILING TILE OR T-BAR STRUCTURES AFTER COMPLETION OF CONSTRUCTION. USE CARE WHEN HANDLING CEILING TILES TO REDUCE DAMAGE.
- CONTRACTOR TO ENSURE ALL NEW AND EXISTING CEILINGS ARE EVEN AND LEVEL THROUGHOUT.
- ALL ACCESS PANEL IN DRYWALL CEILINGS TO BE BAUCO PLUS OR APPROVED AND SIZED TO MEET MAINTENANCE REQUIREMENTS.

09 60 00 FLOORING

- RUBBER BASE TO BE SUPPLIED IN ROLLS. NO JOINTS IN RUNS LESS THAN 10'-0". MITRE INTERNAL CORNERS.
- REMOVE SUBSURFACE RIDGES AND BUMPS ON FLOOR. FILL LOW SPOTS, JOINTS, HOLES AND OTHER DEFECTS WITH MANUFACTURER'S RECOMMENDED PRODUCT TO ENSURE SURFACES MEET MANUFACTURER'S SPECS.
- ENSURE THE SUBSTRATE MEETS THE MANUFACTURER'S RECOMMENDATIONS WITH RESPECT TO MOISTURE AND ALKALINITY CONDITIONS PRIOR TO INSTALLING FLOOR TILE.
- GENERAL CONTRACTOR TO ENSURE FLOORING SUB-TRADES FEATHER BACK A MINIMUM OF 24" WITH TOPPING COMPOUND TO PROVIDE EVEN TRANSITIONS BETWEEN DIFFERENT FLOOR FINISHES HEIGHTS.
- PROVIDE A TRANSITION STRIP BETWEEN ALL FLOOR CHANGES AS SPECIFIED BY ROOT INTERIORS.
- INSTALLATIONS OF RESILIENT FLOORING AND RUBBER BASE TO BE INSTALLED BY INSTALL CERTIFIED, I.P. CERTIFIED OR A T.Q. QUALIFIED INSTALLER; ALL APPRENTICES ARE TO BE REGISTERED.
- VOC EMISSIONS LIMIT MUST MEET: CALIFORNIA DEPARTMENT OF PUBLIC HEALTH (CDPH) STANDARD METHOD V1.1, FEBRUARY 2010.

09 90 00 PAINTING & COATING

- ALL MATERIALS, PREPARATION & WORKMANSHIP SHALL CONFORM TO THE STANDARDS OF THE MASTER PAINTER'S INSTITUTE'S (MPI) LATEST EDITION OF THE ARCHITECTURAL PAINTING SPECIFICATION MANUAL AND THE MAINTENANCE AND REPAINTING MANUAL; AS ISSUED BY THE LOCAL MPI ACCREDITED QUALITY.
- ALL NEWLY CONSTRUCTED GWB SURFACES SHALL BE PAINTED; THIS INCLUDES PARTITIONS, BULKHEADS AND ALL FURRED OUT AREAS EXPOSED TO VIEW.
- THE WORK SHALL ALSO INCLUDE ALL TOUCH-UPS AND FIELD PAINTING NECESSARY TO COMPLETE WORK.
- PAINTED SURFACES CONSIDERED TO LACK UNIFORMITY AND SOUNDNESS ACCORDING WITH DEFECTS NOTED IN MPI MANUALS WILL BE REJECTED BY THE CONSULTANT.
- PAINTED SURFACES REJECTED BY ROOT INTERIORS WILL BE MADE GOOD AT THE EXPENSE OF CONTRACTOR IN ACCORDANCE WITH MPI PAINTING MANUAL REQUIREMENTS.
- PAINT GLOSS SHALL BE DEFINED AS THE SHEEN RATING OF APPLIED PAINT, IN ACCORDANCE WITH THE FOLLOWING MPI GLOSS/SHEEN STANDARD VALUES:

G1 MATTE OR FLAT FINISH

G2 VELVET FINISH

G3 EGGSHELL FINISH

G4 SATIN FINISH

G5 SEMI-GLOSS FINISH

G6 GLOSS FINISH

G7 HIGH-GLOSS FINISH

- ALL SURFACES REQUIRING PAINTING AND REPAINTING SHALL BE INSPECTED BY THE PAINTING SUBCONTRACTOR. THE REPAIR OF DSD-1 TO DSD-3 DEFECTS, AS WELL AS STRUCTURAL AND DSD-4 SUBSTRATE DEFECTS SHALL BE MADE GOOD AND SANDED WITHIN THE SCOPE OF THE WORK.

DSD-0 SOUND SURFACE (MAY INCLUDE VISUAL (AESTHETIC) DEFECTS THAT DO NOT AFFECT FILM'S PROTECTIVE PROPERTIES).

DSD-1 SLIGHTLY DETERIORATED SURFACE (MAY SHOW FADING, GLOSS REDUCTION, SLIGHT SURFACE CONTAMINATION, MINOR PIN HOLES, SCRATCHES, ETC.) MINOR COSMETIC DEFECTS (RUNS, SAGS, ETC.).

DSD-2 MODERATELY DETERIORATED SURFACE (SMALL AREAS OF PEELING, FLAKING, SLIGHT CRACKING, STAINING, ETC.).

DSD-3 SEVERELY DETERIORATED SURFACE (HEAVY PEELING, FLAKING, CRACKING, CHECKING, SCRATCHES, SCUFFS, ABRASION, SMALL HOLES AND GOUGES).

DSD-4 SUBSTRATE DAMAGE

- NO REPAINTING WORK SHALL COMMENCE UNTIL ALL DEFECTS FROM DSD-0 TO DSD-4 HAVE BEEN CORRECTED AND SURFACES & SUBSTRATES ARE ACCEPTABLE AND UNTIL ALL ENVIRONMENTAL CONDITIONS (HEATING, VENTILATION, LIGHTING AND COMPLETION OF OTHER SUB-TRADE WORK, IF APPLICABLE) ARE ACCEPTABLE FOR APPLICATIONS OF PRODUCTS. IF PAINTING COMMENCES, THE CONTRACTOR REPRESENTS THAT HE IS SATISFIED WITH THE SUBSTRATE REPAIR AND PREPARATION AND THAT IT MEETS THE MPI STANDARDS.

A. GYPSUM BOARD PARTITIONS & FURRING
INT/RIN 9.2B HIGH PERFORMANCE ARCHITECTURAL LATEX. GLOSS LEVEL 3 (EGGSHELL)

B. GYPSUM BOARD CEILINGS
INT/RIN 9.2A LATEX. GLOSS LEVEL 1 (FLAT).

C. METAL DOORS & FRAMES CONVECTOR COVERS
INT/RIN 5.1R HIGH PERFORMANCE ARCHITECTURAL LATEX GLOSS LEVEL 5 (SEMI-GLOSS)

D. METAL RAILINGS & ELEVATOR DOORS & FRAMES
INT/RIN 5.1F POLYURETHANE. PIGMENTED (OVER EPOXY PRIMER)

E. CONCRETE HORIZONTAL SURFACES
INT/RIN 3.2B ALKYD FLOOR ENAMEL MPI GLOSS LEVEL 6 (GLOSS)
INT/RIN 3.2D POLYURETHANE. PIGMENTED.

F. CONCRETE VERTICAL SURFACES
INT/RIN 3.1C HIGH PERFORMANCE ARCHITECTURAL LATEX. GLOSS LEVEL 3 (EGGSHELL)
INT/RIN 3.1D ALKYD. GLOSS LEVEL 3 (EGGSHELL)

G. WOOD PAINT GRADE DOOR/FRAMES
INT/RIN 6.3A HIGH PERFORMANCE ARCHITECTURAL LATEX. GLOSS LEVEL 5 (SEMI-GLOSS)

H. WOOD RADIATOR COVER/WINDOWSILL
RIN 6.4L POLYURETHANE VARNISH. GLOSS LEVEL 4 (SATIN).

I. WOOD VENEER DOOR/SOLID WOOD FRAME (CLEAR FINISH)
INT/RIN 6.3X CLEAR MOISTURE CURED POLYURETHANE. GLOSS LEVEL 4 (SATIN).

J. FIRE RETARDANT PAINT ON PLYWOOD BACKING FOR ELECTRICAL/DATA/VOICE/CABLING CLOSET.
INT 6.4S/RIN 6.4R PIGMENTED FIRE RETARDANT. GLOSS LEVEL 5 (SEMI-GLOSS), ULC RATED.

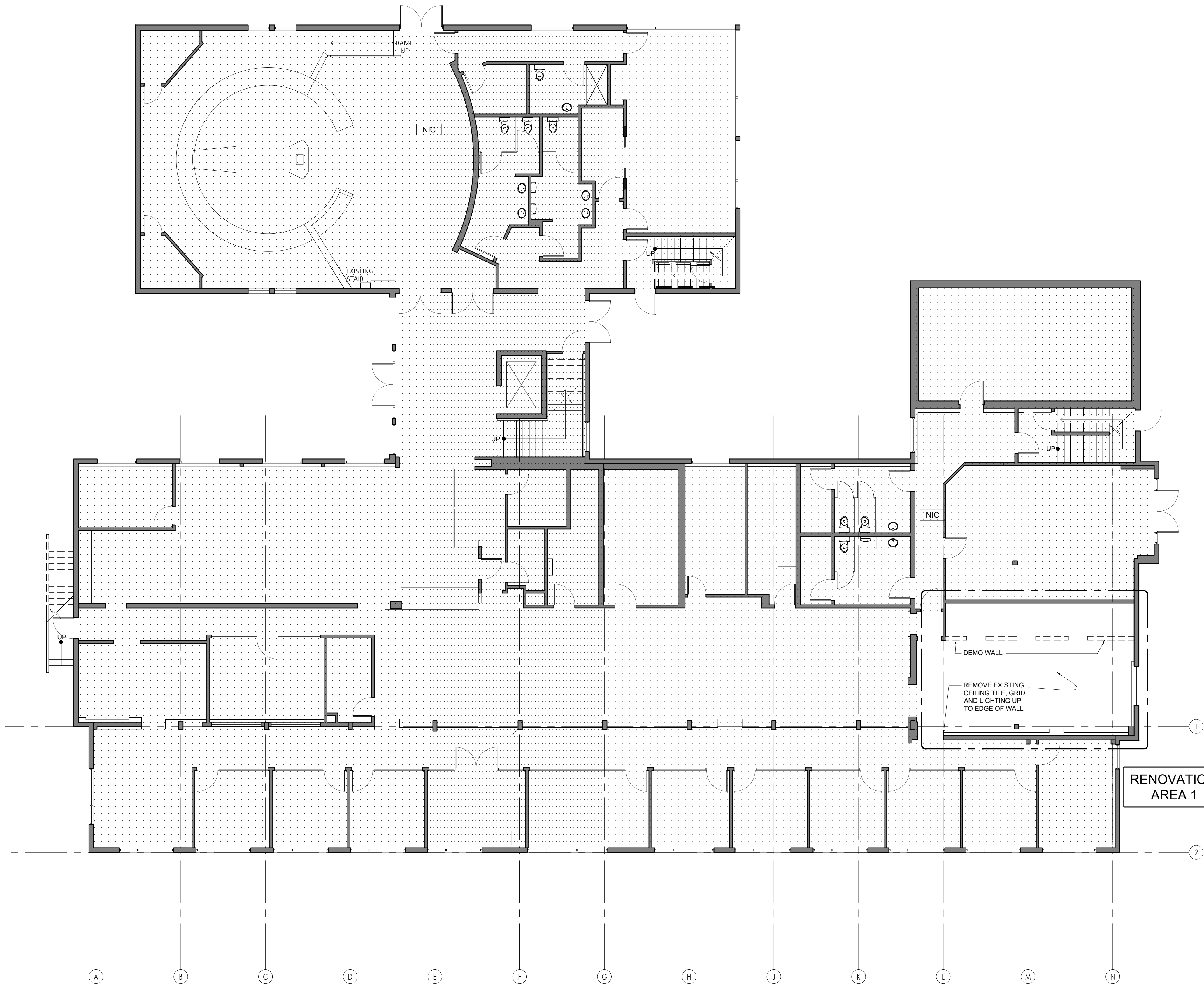
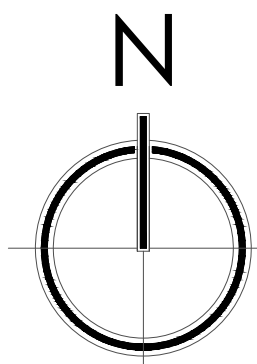
REFER TO FINISH SCHEDULE FOR COLOURS.

- PAINTS, COATINGS, STAINS & SEALERS TO MEET GREEN SEAL STANDARDS GS-11, PAINTS, OCTOBER 26, 2015.
- ARCHITECTURAL COATINGS, PRIMERS AND UNDERCOATS TO MEET SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE #1113, VOLATILE ORGANIC COMPOUND (VOC) LIMITS, RULES IN EFFECT FEB 5, 2016.
- PAINT MANUFACTURER TO PROVIDE MSDS AND TECHNICAL DATA WITH PAINT DRAW DOWNS FOR ROOT INTERIORS'S APPROVAL.
- ALL DRYWALL TO BE TREATED AND SEALED TO SUIT WALL FINISHES SPECIFIED.
- ELECTROSTATIC PAINTING: ALL SURFACE TO RECEIVE A 2 PART POLYESTER EPOXY COATING. THOROUGHLY SAND, FILL AND ACID WASH ALL SURFACE TO BE PAINTED TO PROVIDE SMOOTH, CLEAR, EVEN FINISH.
- ALL NEW PAINT FINISH DOORS FRAMES TO BE SHOP FINISHED C/W 1 COAT SEALER/PRIMER AND 2 FINISH COATS OF SPECIFIED COLOUR AND SHEEN. PROVIDE DRAW DOWNS OF ALL PAINTS SPECIFIED FOR ROOT INTERIORS APPROVAL PRIOR TO BEGINNING WORK.
- ALL STAINED WOOD TO BE SHOP SPRAY PAINTED OR NEW C/W 1 COAT SEALER/ AND 2 FINISH COATS IN THE COLOUR AND SHEEN SPECIFIED. PROVIDE SAMPLES OF ALL WOOD FINISHES FOR ROOT INTERIORS'S APPROVAL PRIOR TO BEGINNING FABRICATION AND INSTALLATION.
- PAINT ALL NEW AND REUSED ACCESS PANELS AND CONVECTORS TO MATCH THE PAINT ON GWB CEILINGS OR WALLS ADJACENT TO TO THEM. IF ELEMENTS ARE LOCATED IN GWB CEILING, PAINT THEM TO MATCH THE COLOUR OF THE GWB CEILING. DO NOT PAINT BASE BUILDING CEILING FIXTURES/DEVICES WITHOUT APPROVAL FROM LANDLORD.
- DO NOT PAINT OVER FIRE RATED OR ACOUSTIC RATED LABELS ON NEW OR EXISTING DOORS AND FRAMES.
- UNLESS OTHERWISE APPROVED BY THE PAINTING CONSULTANT, APPLY A MINIMUM OF FOUR COATS OF PAINT WHERE DEEP OR BRIGHT COLOURS ARE USED TO ACHIEVE SATISFACTORY RESULTS.
- PROVIDE DRAW DOWNS OF ALL PAINTS PRIOR TO ORDERING AND APPLYING PAINTS.

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DEMOLITION LEGEND

- CORE BUILDING PARTITION
- EXISTING PARTITION, MILLWORK, FIXTURE OR GLAZING TO BE REMOVED.
- EXISTING PARTITION TO REMAIN.
- EXISTING DOOR, FRAME AND HARDWARE TO BE REMOVED AND SET ASIDE FOR RE-USE.
- EXISTING T-BAR GRID TO BE REMOVED.

DEMOLITION PLAN GENERAL NOTES

- FLOOR FINISHES TO REMAIN, PROVIDE FLOOR PROTECTION FOR SURFACES.
- RETAIN ALL LONG LENGTHS OF REMOVED BASE FOR REUSE AND PATCH & REPAIR.
- IF REMOVED LIGHT FIXTURES ARE IN GOOD CONDITION, THEY SHOULD BE HANDED OVER TO RDN FOR REUSE.

CONSULTANT:

CONSULTANT:

NO.	REVISION	DATE
1	ISSUED FOR BUILDING PERMIT APPLICATION.	2023.10.13
-	ISSUED FOR COORDINATION	2023.09.14
-	ISSUED FOR REVIEW	2023.08.15
-	ISSUED FOR DEMOUNTABLE WALL COORD.	2023.07.19

PROJECT NAME:

REGIONAL DISTRICT OF NANAIMO

6300 HAMMOND BAY ROAD
NANAIMO, BC, V9T 6N2

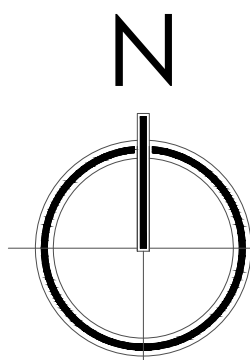
DRAWING NAME:

DEMOLITION PLAN
LEVEL 1

PROJECT NUMBER:	PROJECT DATE:	MARCH 2023
DRAWN: SR	CHECKED:	SR
SCALE:	AS NOTED	

DRAWING NO:

ID1.1



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CONSULTANT:

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-	ISSUED FOR COORDINATION	2023.09.14
-	ISSUED FOR CONSULTANT COORDINATION	2023.08.31
-	ISSUED FOR REVIEW	2023.08.15
-	ISSUED FOR DEMOUNTABLE WALL COORD.	2023.07.19
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DRAWING NAME:

DEMOLITION PLAN LEVEL 2

PROJECT NUMBER: PROJECT DATE: MARCH 2023
DRAWN: SR CHECKED: SR
SCALE: AS NOTED
DRAWING NO:

ID1.2

DEMOLITION LEGEND

- CORE BUILDING PARTITION
- EXISTING PARTITION, MILLWORK, FIXTURE OR GLAZING TO BE REMOVED.
- EXISTING PARTITION TO REMAIN.
- EXISTING DOOR, FRAME AND HARDWARE TO BE REMOVED AND SET ASIDE FOR RE-USE.
- EXISTING T-BAR GRID TO BE REMOVED.

DEMOLITION PLAN GENERAL NOTES

- FLOOR FINISHES TO REMAIN, PROVIDE FLOOR PROTECTION FOR SURFACES.
- RETAIN ALL LONG LENGTHS OF REMOVED BASE FOR REUSE AND PATCH & REPAIR.
- REMOVED LIGHT FIXTURES TO BE SET ASIDE FOR REUSE. REFER TO RCP FOR LOCATIONS.



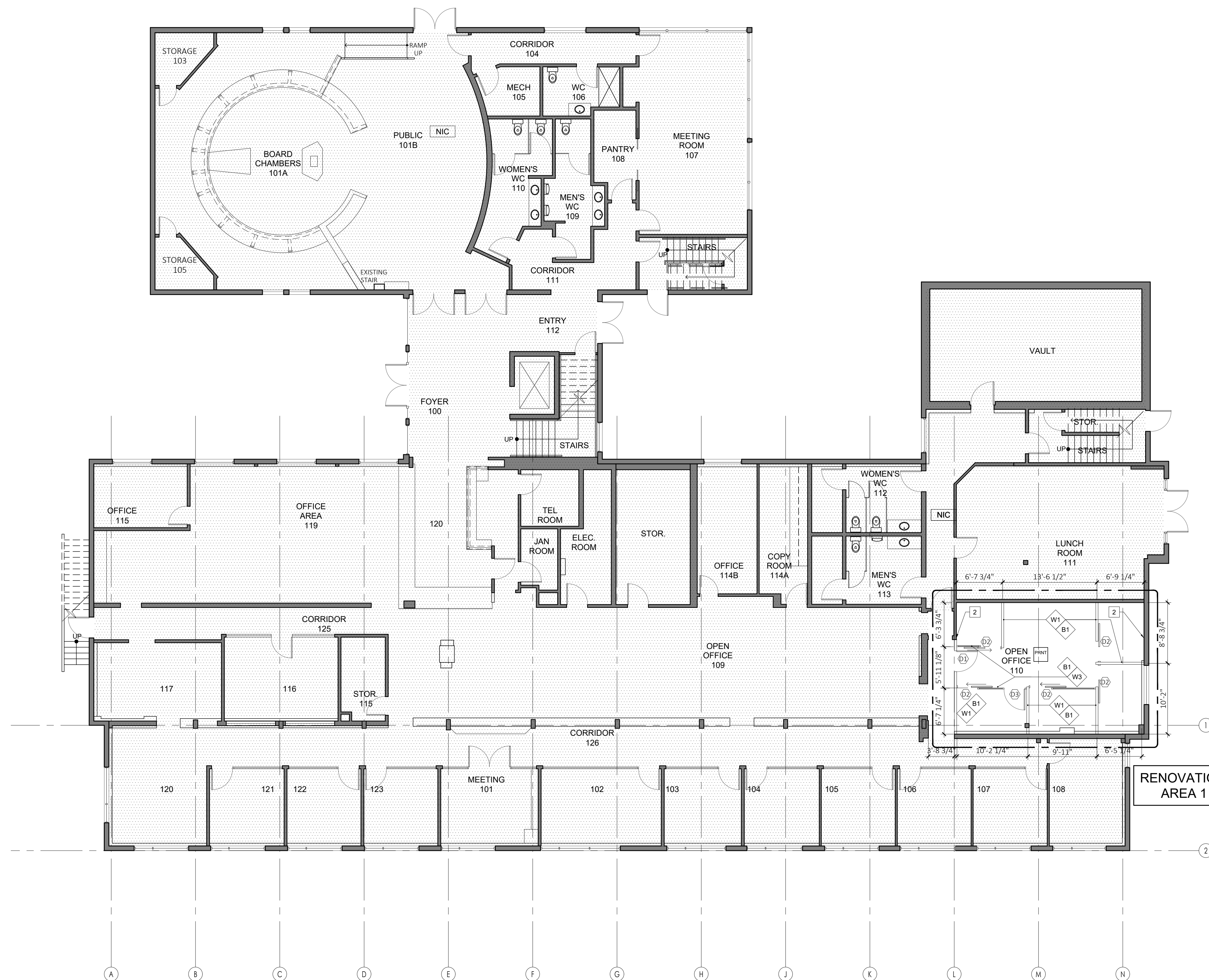
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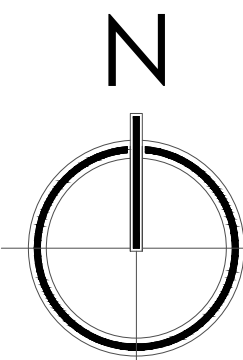
DRAWING NAME

PROJECT NUMBER:	PROJECT DATE:	MARCH 2021
DRAWN: SR	CHECKED:	SI
SCALE:	AS NOTED	
DRAWING NO:		

ID2.1

102.1 SCALE 1/4"=1'-0"





CONSTRUCTION LEGEND

- EXISTING PARTITION
NEW PARTITION

CONSTRUCTION PLAN KEY NOTES

- SUPPLY AND INSTALL BLOCKING FOR WALL HUNG MONITORS, PROVIDE ADEQUATE FIRE RATED BLOCKING IN WALL FOR SUPPORT.
- PATCH AND REPAIR WALLS WHERE DEMO HAS OCCURRED.

WALL TYPE LEGEND

NOTE: ALL RATED AND UNRATED SLAB TO SLAB (FULL-HEIGHT) PARTITIONS TO HAVE ALL GWB JOINTS IN CEILING PLENUM TAPED AND FILLED. ALL GAPS AROUND SERVICE PENETRATIONS TO BE FILLED WITH BATT INSULATION AND TAPED.

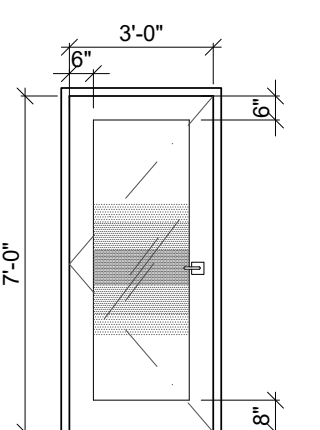
PARTITION	TYPE
W1 SOLID WALL FALK 4" SOLID WALL c/w FALKSKIN GRADE 1 FINISH, TBC	NEW UNRATED DEMOUNTABLE WALL SYSTEM, FALKBUILT PROVIDED BY INNOVIOR. PARTITION RUNS FROM FLOOR SLAB TO UNDERSIDE OF FINISHED CEILING
W2 1/2" G.W.B. 6" SPF STUDS @ 16" O.C. FRICTION FIT ACOUSTIC BATT INSULATION 1/2" G.W.B.	NEW UNRATED INTERIOR PARTITION PARTITION RUNS FROM FLOOR SLAB TO UNDERSIDE OF FINISHED CEILING
W3 GLAZING WALL FALK KAI OFFICE GLAZING SYSTEM LOW PROFILE ALUMINUM FRAME c/w 12MM TEMPERED GLAZING FINISH: STANDARD BLACK POWDERCOAT	NEW DEMOUNTABLE GLASS WALL SYSTEM, FALKBUILT PROVIDED BY INNOVIOR. PARTITION RUNS FROM FLOOR SLAB TO UNDERSIDE OF FINISHED CEILING. NEW UNRATED DEMOUNTABLE WALL SYSTEM, FALKBUILT PROVIDED BY INNOVIOR.
PLENUM SOUND BAFFLES	
B1 2" RIGID INSULATION	2" FOIL BACK INSULATION, FOIL BOTH SIDES. SPACE BETWEEN BOTTOM OF BAFFLE AND TOP OF CEILING TILE TO BE FILLED WITH COMPRESSIBLE ETHAFOAM ROD. METAL ANGLES AS REQUIRED FOR SUPPORT. ALL CONNECTIONS TO BE TAPED WITH COMPATIBLE FOIL TAPE. ALL PENETRATIONS TO BE SEALED WITH CAULKING.

DOOR SCHEDULE

- (E) EXISTING DOOR
- (D1) SWING DOOR, PART OF DEMOUNTABLE SYSTEM
FALK KAI OFFICE GLAZING SYSTEM, INSET PIVOT DOOR
LOW PROFILE FRAME, w/ 12MM TEMPERED GLASS INSERT
w/ 24" BAR PULL, HARDWARE #1
FINISH: STANDARD BLACK POWDERCOAT
- (D2) SLIDING DOOR, PART OF DEMOUNTABLE SYSTEM
FALK KAI OFFICE GLAZING SYSTEM
LOW PROFILE FRAME, w/ 12MM TEMPERED GLASS INSERT
PASSAGE SET w/ 24" BAR PULL,
FINISH: BLACK POWDERCOAT
- (D3) SWING DOOR, PART OF DEMOUNTABLE SYSTEM
FALK KAI OFFICE GLAZING SYSTEM, INSET PIVOT DOOR
LOW PROFILE FRAME, w/ 12MM TEMPERED GLASS INSERT
PASSAGE SET, w/ 24" BAR PULL,
FINISH: STANDARD BLACK POWDERCOAT

HARDWARE #1

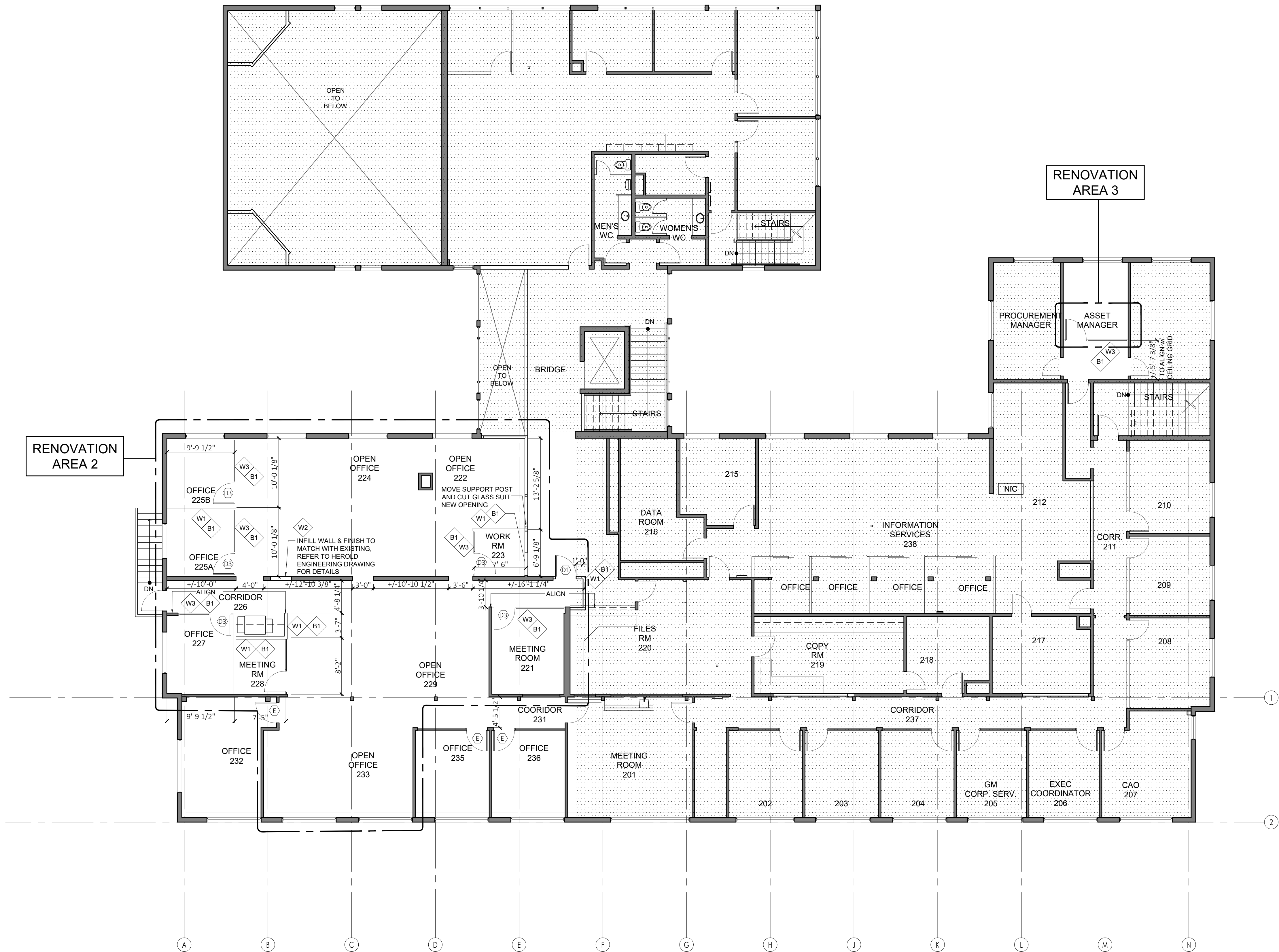
- 4 CONCEALED HINGES
- 1 DOME DOOR STOP
- 1 DOOR LEVER HANDLE
- 1 CONCEALED CLOSER
- 1 CARD READER



TYPE D1

PAINT GRADE DOOR WITH GLASS PANEL
3'-0" x 7'-0" x 1 3/4"

- 1 DOOR TYPES
SCALE 1/4"=1'-0"



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REGIONAL DISTRICT OF NANAIMO

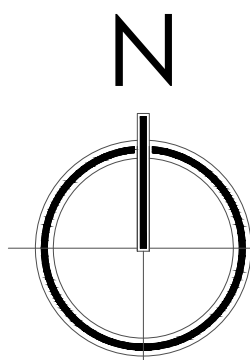
6300 HAMMOND BAY ROAD
NANAIMO, BC, V9T 6N2

DRAWING NAME:

CONSTRUCTION PLAN
LEVEL 2

PROJECT NUMBER:	PROJECT DATE:	MARCH 2023
DRAWN: SR	CHECKED:	SR
SCALE:	AS NOTED	
DRAWING NO:		

ID2.2



RCP GENERAL NOTES

- EXISTING SPRINKLER AND MECHANICAL SHOWN FOR REFERENCE ONLY.
- NEW SPRINKLER HEADS TO BE PROVIDED AS REQUIRED TO SUIT NEW WALL LOCATIONS.
- NEW MECHANICAL S/A & R/A DIFFUSERS TO PROVIDED TO SUITE NEW WALL LOCATIONS, AND SYSTEM BALANCED.
- COORDINATE ZONING AND SWITCHING WITH REGIONAL DISTRICT OF NANAIMO.

LIGHTING LEGEND

- 2'x2' RECESSED LED
- 1'x4' RECESSED FIXTURE
- 2'x4' RECESSED FIXTURE
- 1'x4' SURFACE MOUNTED FIXTURE
- RECESSED DOWNLIGHT
- SUSPENDED LINEAR
- WALL SCENCE
- PENDANT
- EXISTING
- RELOCATED
- EXIT LIGHT
- EMERGENCY LIGHT

MECHANICAL LEGEND

- DIFFUSER
- DIFFUSER - RELOCATED
- DIFFUSER - EXISTING LOCATION OF RELOCATED FIXTURE
- RETURN AIR GRILLE
- SPRINKLER HEADS (EXISTING LOCATIONS NOTED). RELOCATE EXISTING HEADS & ADD NEW TO SUIT NEW WALL LAYOUT.
- EXISTING SIDE-WALL SPRINKLER HEADS

RCP SCHEDULE

- EXISTING ACOUSTIC TILE CEILING
- MANUF: CGC (OR APPROVED ALTERNATE)
PRODUCT: MARS CLIMAPLUS HIGH NRC/ HIGH CAC
CODE: 88134
SIZE: 24" X 24", 1/2" THICK
ACOUSTIC: 085 NRC, 35 CAC
LVR: 0.9
COLOUR: WHITE
SUSPENSION SYSTEM: DONN BRAND DX/DLX SYSTEM
SIZE: 1/2" EXPOSED T-GRID
COLOUR: FLAT WHITE

LIGHTING SCHEDULE

- L1 TYPE: RECESSED LIGHTING LIGHTING
MANU: LITHONIA
SUPPLIER: WILSON DAU, SYMMETRY
MODEL: STAK
STAK2X23000LM80CRI30KCOLMIN1MVOLT-NLAI2
SIZE: 2'X 2'
LUMENS: 3000 LM, TYPICAL
COLOUR TEMP: 3000 K
CRI: 80
COLOUR TEMP: 3000 K
LENS: CURVED OPAL LENS
DIMMING: DIMS TO 1%
CONTROLS: NLIGHT AIR GENERATION 2 (WIRELESS) ENABLED



CONSULTANT:

CONSULTANT:

1	ISSUED FOR BUILDING PERMIT APPLICATION:	2023.10.13
-	ISSUED FOR COORDINATION	2023.09.14
-	ISSUED FOR REVIEW	2023.08.15
-	ISSUED FOR DEMOUNTABLE WALL COORD.	2023.07.19
NO.	REVISION	DATE
SUPERSEDES ALL PRINTS BEARING PREVIOUS REVISION NUMBER		

PROJECT NAME:

REGIONAL DISTRICT OF NANAIMO

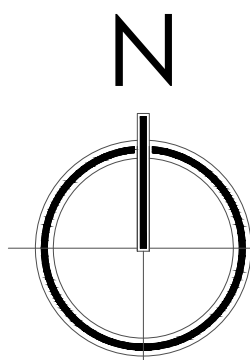
6300 HAMMOND BAY ROAD
NANAIMO, BC, V9T 6N2

DRAWING NAME:

RCP
LEVEL 1

PROJECT NUMBER:	PROJECT DATE:	MARCH 2023
DRAWN: SR	CHECKED:	SR
SCALE:	AS NOTED	
DRAWING NO:		

ID3.1



RCP GENERAL NOTES

- EXISTING SPRINKLER AND MECHANICAL SHOWN FOR REFERENCE ONLY.
- NEW SPRINKLER HEADS TO BE PROVIDED AS REQUIRED TO SUIT NEW WALL LOCATIONS.
- NEW MECHANICAL S/A & R/A DIFFUSERS TO PROVIDED TO SUITE NEW WALL LOCATIONS, AND SYSTEM BALANCED.
- COORDINATE ZONING AND SWITCHING WITH REGIONAL DISTRICT OF NANAIMO.

LIGHTING LEGEND

- 2'x2' RECESSED LED
- 1'x4' RECESSED FIXTURE
- 2'x4' RECESSED FIXTURE
- 1'x4' SURFACE MOUNTED FIXTURE
- RECESSED DOWNLIGHT
- SUSPENDED LINEAR
- WALL SCONCE
- PENDANT
- EXISTING
- RELOCATED
- EXIT LIGHT
- EMERGENCY LIGHT

MECHANICAL LEGEND

- DIFFUSER
- DIFFUSER - RELOCATED
- DIFFUSER - EXISTING LOCATION OF RELOCATED FIXTURE
- RETURN AIR GRILLE
- SPRINKLER HEADS (EXISTING LOCATIONS NOTED). RELOCATE EXISTING HEADS & ADD NEW TO SUIT NEW WALL LAYOUT.
- EXISTING SIDE-WALL SPRINKLER HEADS

RCP SCHEDULE

- EXISTING ACOUSTIC TILE CEILING
- MANUF: CGC (OR APPROVED ALTERNATE)
- PRODUCT: MARS CLIMAPLUS HIGH NRC/ HIGH CAC
- CODE: 68154
- SIZE: 24" X 24" 1" THICK
- ACOUSTIC: 085 NRC, 35 CAC
- LVR: 0.9
- COLOUR: WHITE
- SUSPENSION SYSTEM: DONN BRAND DX/DLX SYSTEM
- SIZE: EXPOSED T-GRID
- COLOUR: FLAT WHITE

LIGHTING SCHEDULE

- TYPE: RECESSED LIGHTING LIGHTING
- MANU: LITHONIA
- SUPPLIER: WILSON DAU, SYMMETRY
- MODEL: STACK
- STAK2X23000LM80CRI30KCOLMIN1MVOLT-NLAIR2
- SIZE: 2'X 2'
- LUMENS: 3000 LM, TYPICAL
- 4000LM & 5000LM ARE NOTED ON PLAN
- CR: 80
- COLOUR TEMP: 3000 K
- LENS: CURVED OPAL LENS
- DIMMING: DIMS TO 1%
- CONTROLS: nLIGHT AIR GENERATION 2 (WIRELESS) ENABLED

CONSULTANT:

CONSULTANT:

1	ISSUED FOR BUILDING PERMIT APPLICATION.	2023.10.13
-	ISSUED FOR COORDINATION	2023.09.14
-	ISSUED FOR REVIEW	2023.08.15
-	ISSUED FOR DEMOUNTABLE WALL COORD.	2023.07.19
NO.	REVISION	DATE
SUPERSEDES ALL PRINTS BEARING PREVIOUS REVISION NUMBER		

PROJECT NAME:

REGIONAL DISTRICT OF NANAIMO

6300 HAMMOND BAY ROAD
NANAIMO, BC, V9T 6N2

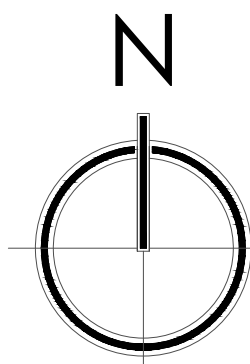
DRAWING NAME:

RCP LEVEL 2

PROJECT NUMBER:	PROJECT DATE:	MARCH 2023
DRAWN: SR	CHECKED:	SR
SCALE:	AS NOTED	
DRAWING NO:		

ID3.2





CONSULTANT:

CONSULTANT:

1	ISSUED FOR BUILDING PERMIT APPLICATION	2023.10.13
-	ISSUED FOR COORDINATION	2023.09.14
-	ISSUED FOR REVIEW	2023.08.15
-	ISSUED FOR DEMOUNTABLE WALL COORD.	2023.07.19
NO.	REVISION	DATE
SUPERSEDES ALL PRINTS BEARING PREVIOUS REVISION NUMBER		

PROJECT NAME:

REGIONAL DISTRICT OF NANAIMO

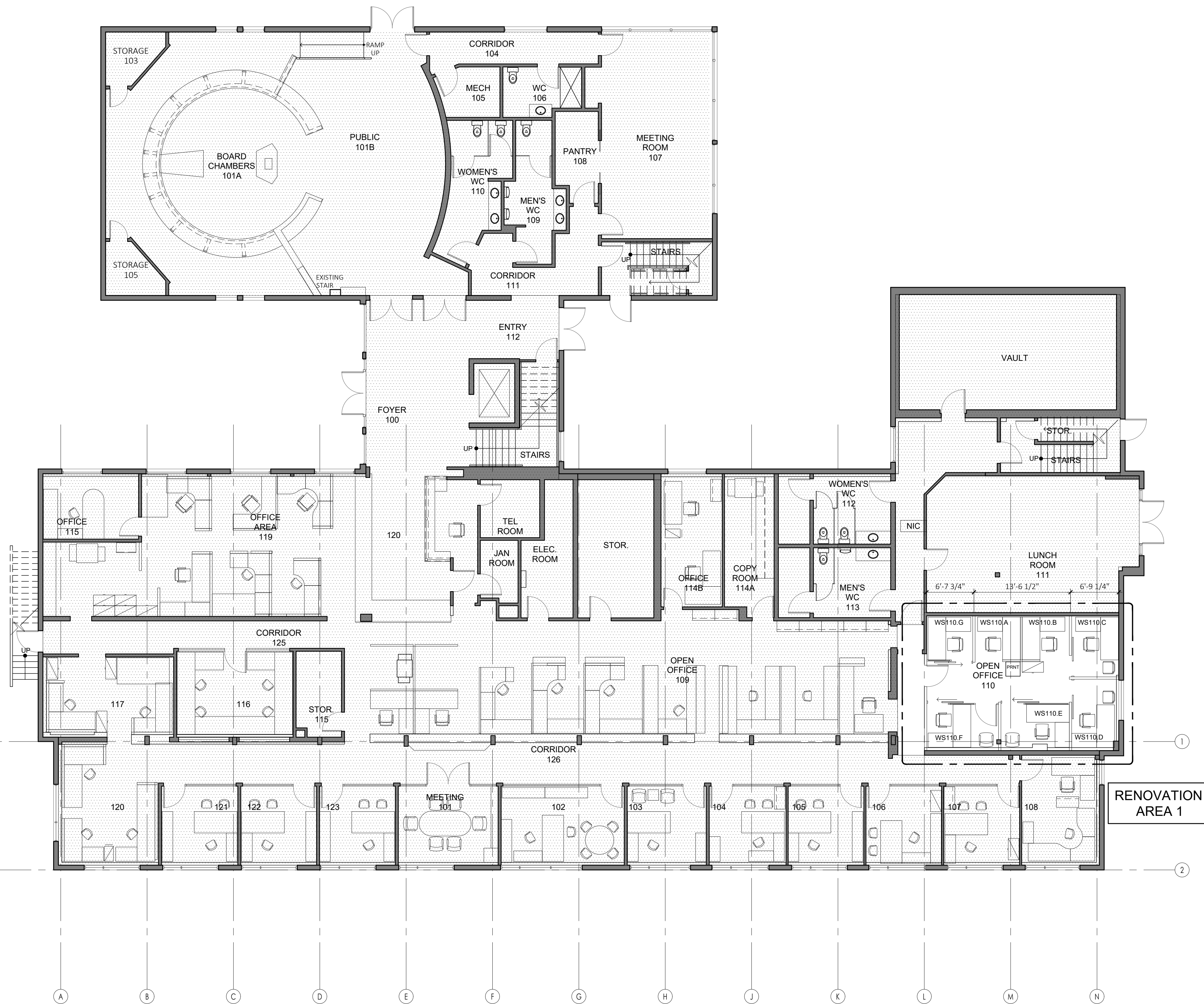
6300 HAMMOND BAY ROAD
NANAIMO, BC, V9T 6N2

DRAWING NAME:

FURNITURE PLAN
LEVEL 1

PROJECT NUMBER:	PROJECT DATE:	MARCH 2023
DRAWN: SR	CHECKED:	SR
SCALE:	AS NOTED	
DRAWING NO:		

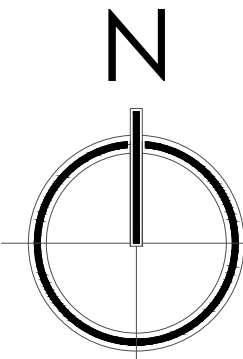
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JOBSITE SHALL BE VERIFIED BY THE CONTRACTOR
BEFORE PROCEEDING WITH WORK.



CONSULTANT:

CONSULTANT:

1	ISSUED FOR BUILDING PERMIT APPLICATION	2023.10.13
-	ISSUED FOR COORDINATION	2023.09.14
-	ISSUED FOR CONSULTANT COORDINATION	2023.08.31
-	ISSUED FOR REVIEW	2023.08.15
-	ISSUED FOR DEMOUNTABLE WALL COORD.	2023.07.19
NO.	REVISION	DATE
SUPERSEDES ALL PRINTS BEARING PREVIOUS REVISION NUMBER		

PROJECT NAME:

REGIONAL DISTRICT OF NANAIMO

6300 HAMMOND BAY ROAD
NANAIMO, BC, V9T 6N2

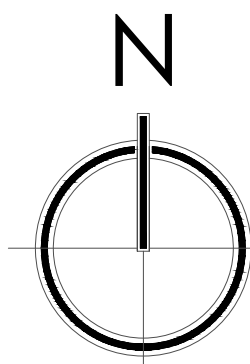
DRAWING NAME:

**FURNITURE PLAN
LEVEL 2**

PROJECT NUMBER:	PROJECT DATE:	MARCH 2023
DRAWN: SR	CHECKED:	SR
SCALE:	AS NOTED	
DRAWING NO:		

ID4.2





FINISH PLAN GENERAL NOTES

1. UNLESS OTHERWISE NOTED, ALL WALLS TO BE P1.
2. NEW FLOORING SHALL BE INSTALLED PRIOR TO INSTALLATION OF DEMOUNTABLE WALL SYSTEM.

FINISH SCHEDULE

EX EXISTING TO REMAIN

CARPET

E-CA TYPE: EXISTING CARPET TILE
SUPPLIER: INTERFACE
PRODUCT: CUBIC
PRODUCT #: 1380102500
COLOUR: CONSTRUCTION
COLOUR #: 006395
SIZE: 20" X 20"
INSTALLATION: NON-DIRECTIONAL
NOTE: 4 BOXES OF CARPET IS AVAILABLE
AS ATTIC STOCK ON-SITE. IF ADDITIONAL CARPET
IS REQUIRED TO PATCH & REPAIR WHERE DEMO
HAS OCCURED, IT SHOULD BE ORDERED.

PAINT

P1 MANUFACTURER: SHERWIN WILLIAMS
PRODUCT: EGGSHELL
COLOUR: TBC
LOCATION: WALLS & BULKHEADS AS NOTED

P2 MANUFACTURER: SHERWIN WILLIAMS
PRODUCT: SEMI-GLOSS
COLOUR: TBC
LOCATION: DOORS AS NOTED

GLAZING FILM

GF MANU: 3M
PRODUCT: FASARA GLASS FINISH
PATTERN: CENTER GRADATION
CLOUD NARROW
FILM TYPE: POLYESTER
COLOUR: WHITE
WIDTH: 50"
LOCATION: GLAZED WALLS AND DOORS
INSTALL: FOLLOW MANUFACTURE'S
RECOMMENDATIONS

CONSULTANT:

CONSULTANT:

NO.	REVISION	DATE
1	ISSUED FOR BUILDING PERMIT APPLICATION.	2023.10.13
-	ISSUED FOR COORDINATION	2023.09.14
-	ISSUED FOR REVIEW	2023.08.15
-	ISSUED FOR DEMOUNTABLE WALL COORD.	2023.07.19

PROJECT NAME:

REGIONAL DISTRICT OF NANAIMO

6300 HAMMOND BAY ROAD
NANAIMO, BC, V9T 6N2

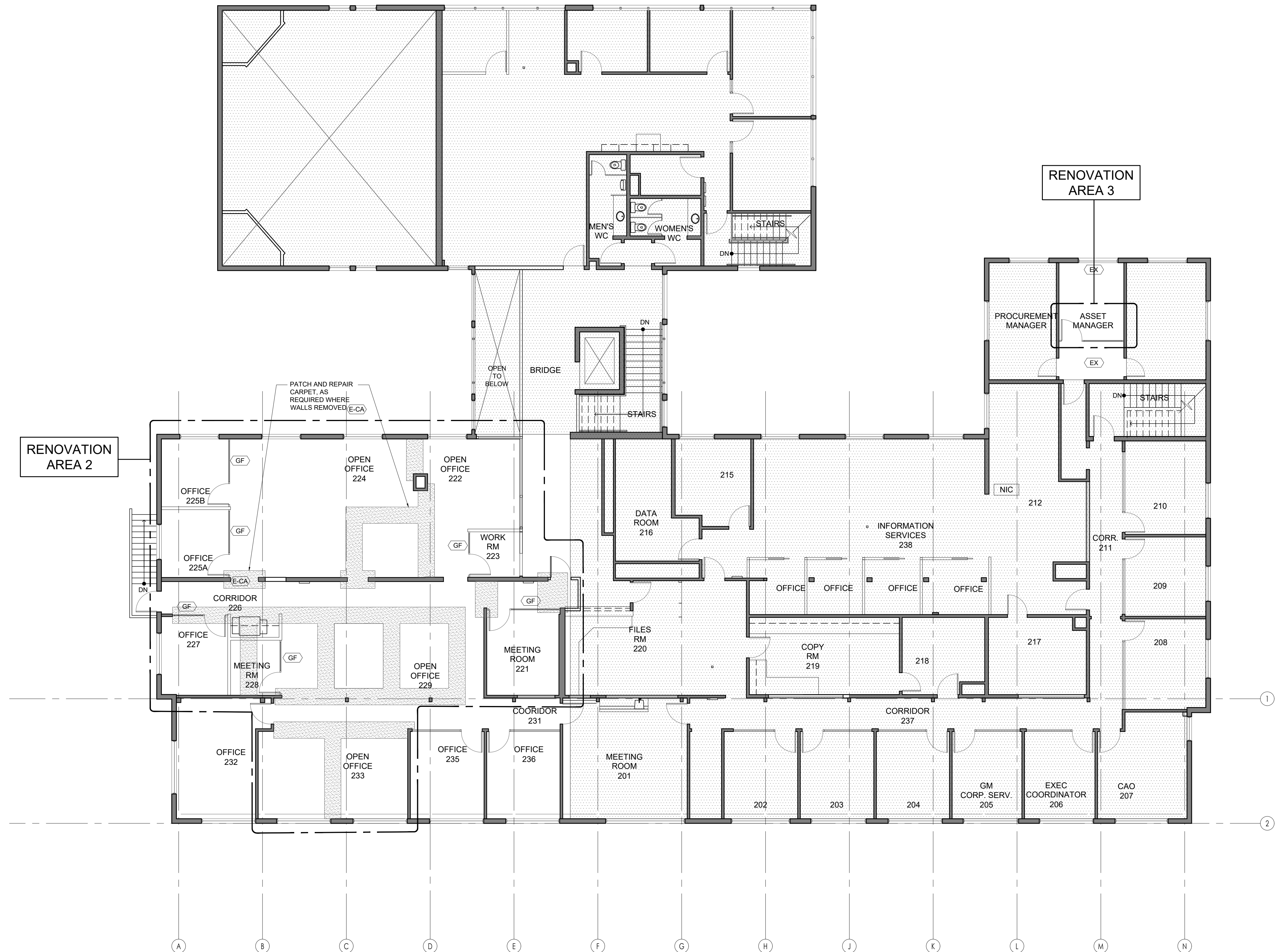
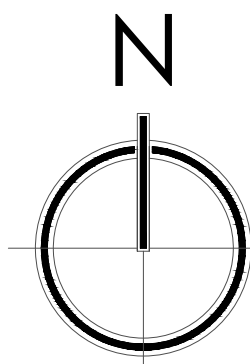
DRAWING NAME:

FINISH PLAN
LEVEL 1

PROJECT NUMBER: PROJECT DATE: MARCH 2023
DRAWN: SR CHECKED: SR
SCALE: AS NOTED
DRAWING NO:

ID5.1





FINISH PLAN GENERAL NOTES

1. UNLESS OTHERWISE NOTED, ALL WALLS TO BE P1.
2. NEW FLOORING SHALL BE INSTALLED PRIOR TO INSTALLATION OF DEMOUNTABLE WALL SYSTEM.
3. FLOOR NEEDS TO BE LEVEL WITHIN 1" OVER A 10'-0" SPAN FOR INSTALLATION OF DEMOUNTABLE WALL SYSTEM.

FINISH SCHEDULE

EX EXISTING TO REMAIN

CARPET

E-CA TYPE: EXISTING CARPET TILE
SUPPLIER: INTERFACE
PRODUCT #: 1380102500
COLOUR: CONSTRUCTION
COLOUR #: 006395
SIZE: 20" X 20"
INSTALLATION: NON-DIRECTIONAL
NOTE: 4 BOXES OF CARPET IS AVAILABLE
AS ATTIC STOCK ONSITE. IF ADDITIONAL CARPET
IS REQUIRED TO PATCH & REPAIR WHERE DEMO
HAS OCCURRED, IT SHOULD BE ORDERED.

PAINT

P1 MANUFACTURER: SHERWIN WILLIAMS
PRODUCT: EGGSHELL
COLOUR: TBC
LOCATION: WALLS & BULKHEADS AS
NOTED

P2 MANUFACTURER: SHERWIN WILLIAMS
PRODUCT: SEMI-GLOSS
COLOUR: TBC
LOCATION: DOORS AS NOTED

GLAZING FILM

GF MANU: 3M
PRODUCT: FASARA GLASS FINISH
PATTERN: CENTER GRADATION
CLOUD NARROW
FILM TYPE: POLYESTER
COLOUR: WHITE
WIDTH: 50"
LOCATION: GLAZED WALLS AND DOORS
INSTALL: FOLLOW MANUFACTURE'S
RECOMMENDATIONS

CONSULTANT:

CONSULTANT:

NO.	REVISION	DATE
1	ISSUED FOR BUILDING PERMIT APPLICATION	2023.10.13
-	ISSUED FOR COORDINATION	2023.09.14
-	ISSUED FOR CONSULTANT COORDINATION	2023.08.31
-	ISSUED FOR REVIEW	2023.08.15
-	ISSUED FOR DEMOUNTABLE WALL COORD.	2023.07.19

PROJECT NAME:

REGIONAL DISTRICT OF NANAIMO

6300 HAMMOND BAY ROAD
NANAIMO, BC, V9T 6N2

DRAWING NAME:

FINISH PLAN
LEVEL 2

PROJECT NUMBER:	PROJECT DATE:	MARCH 2023
DRAWN: SR	CHECKED:	SR
SCALE:	AS NOTED	
DRAWING NO:		

ID5.2

HEL-001

SNOW LOADS		SEISMIC LOADS	
Ss	2.1 kPa (44.0 psf)	Rd	3.0
Str	0.4 kPa (8.40 psf)	Ro	1.7
Is	ULS 1.0/ SLS 0.90	le	ULS 1.0
SPECIFIED FLOOR LOADING		SPECIFIED ROOF LOADING	
FLOOR DL	= 0.57 kPa (11.9 psf)	DEAD LOAD	= 0.72 kPa (15.0 psf)
FLOOR LL	= 2.4 kPa (50.0 psf)	SNOW LOAD	= 2.1 kPa (43.9 psf)
DEFLECTION CRITERIA		DEFLECTION CRITERIA	
LIVE LOAD	= L/360	LIVE LOAD	= L/360
TOTAL LOAD	= L/240	TOTAL LOAD	= L/240

- ## FIELD REVIEWS

HEL-005

HEL-029

- | NAIL SIZE | MINIMUM SHANK DIAMETER |
|--------------|------------------------|
| 57mm (2.25") | 2.52 mm (0.099") |
| 65mm (2.50") | 3.33 mm (0.131") |
| 76mm (3.00") | 3.76 mm (0.148") |
| 83mm (3.25") | 3.76 mm (0.148") |
| 89mm (3.50") | 4.12 mm (0.162") |

- | PANEL THICKNESS | OVER-DRIVE |
|----------------------------|----------------|
| 9.5mm ($\frac{3}{8}$ "*) | 1.4mm (0.056") |
| 12.5mm ($\frac{1}{2}$ "*) | 1.9mm (0.075") |
| 15.9mm ($\frac{5}{8}$ "*) | 2.4mm (0.094") |
| 19.0mm ($\frac{3}{4}$ "*) | 2.9mm (0.113") |

16. PLYWOOD FOR ROOFS, FLOORS AND WALLS SHALL BE EXTERIOR GRADE DOUGLAS FIR PLYWOOD TO CSA-0121 OR CANADIAN SOFTWOOD PLYWOOD TO CSA-0151. OSB MAY BE SUBSTITUTED FOR PLYWOOD ON INTERIOR SHEAR WALLS ONLY. OSB SHALL BE EXTERIOR GRADE CONFORMING TO CSA 0325. SUBSTITUTION MUST BE APPROVED BY THE PROJECT ENGINEER IN WRITING.

PLYWOOD THICKNESS	EQUIVALENT OSB MARK
3/8"	2R24
1/2"	2R32 / 2F16 OR 1F16
5/8"	2R40 / 2F20

- ## LIST OF ABBREVIATIONS

- | | | | |
|-------|---------------|------|-----------------------------|
| ALT | ALTERNATE | LG | LONG |
| ARCH | ARCHITECTURAL | LL | LIVE LOAD |
| BP | BASE PLATE | LVL | LAMINATED VENEER LUMBER |
| B/S | BOTH SIDES | LV | LENGTH YARDS |
| CW | COMPLETE WITH | MAX | MAXIMUM |
| CL | CENTRE LINE | MECH | MECHANICAL |
| CLR | CLEAR | MIN | MINIMUM |
| CONC | CONCRETE | NIC | NOT IN CONTRACT |
| COL | COLUMN | No | NUMBER |
| CONT | CONTINUOUS | NTS | NOT TO SCALE |
| DP | DEEP | O/A | OVERALL |
| DL | DEAD LOAD | OPP | OPPOSITE |
| DWG | DRAWING | SCL | STRUCTURAL COMPOSITE LUMBER |
| E/E | EACH END | STL | STEEL |
| E/F | EACH FACE | SIM | SIMILAR |
| E/S | EACH SIDE | SWL | SAFE WORKING LOAD |
| ELEC | ELECTRICAL | THK | THICK |
| ELEV | ELEVATION | T/O | TOP OF |
| EW | EACH WAY | TYP | TYPICAL |
| EXT | EXTERIOR | US | UNDERSIDE |
| (E) | EXISTING | UNO | UNLESS NOTED OTHERWISE |
| FD | FLOOR DRAIN | VERT | VERTICAL |
| GALV | GALVANIZED | VF | VERIFY IN FIELD |
| HORIZ | HORIZONTAL | W/ | WITH |
| INT | INTERIOR | WP | WORK POINT |

SYMBOLS LEGEND

	EXISTING LOAD BEARING STUD WALL		SECTION/ELEVATION SYMBOL SECTION/ELEVATION NUMBER SHEET WHERE DRAWN
	EXISTING NON-LOAD BEARING STUD WALL		PLAN DETAIL SYMBOL DETAIL NUMBER SHEET WHERE DRAWN
	WOOD BEAM		REVISION NUMBER
	WOOD POST		
	STEEL BEAM		

STRUCTURAL DRAWING LIST

S101	GENERAL NOTES
S201	PARTIAL LEVEL 2 FRAMING PLAN

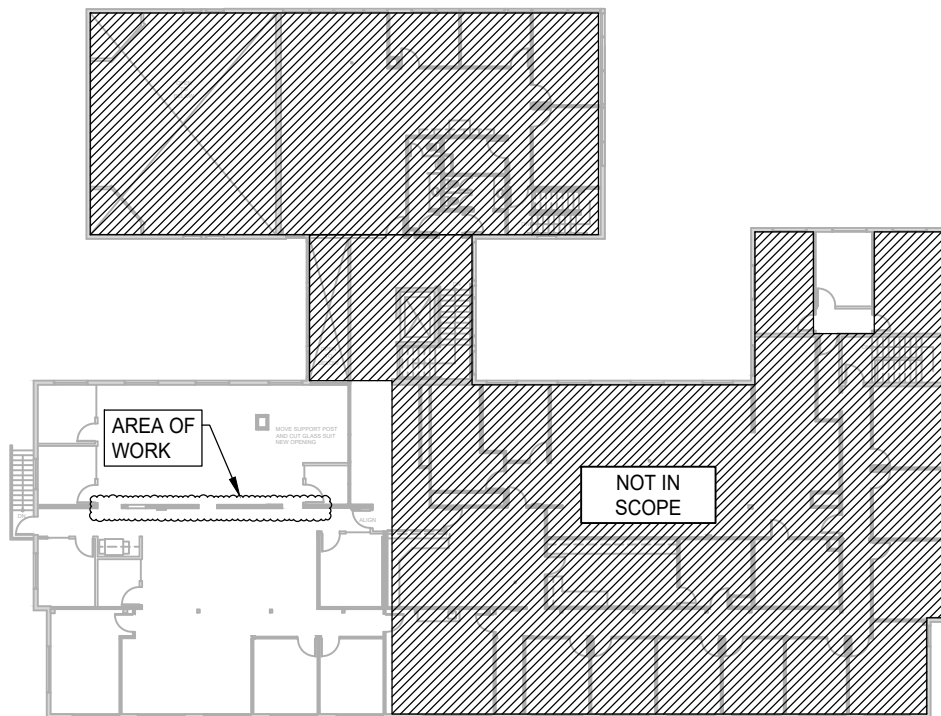
STRUCTURAL DRAWING ISSUE RECORD

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ISSUES

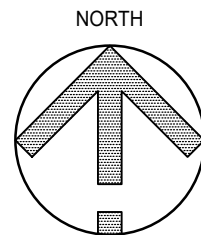
No.	DATE	mm/dd/yyyy	ISSUED FOR
01	2023	09/25	BUILDING PERMIT

SUB CONSULTANT



KEY PLAN

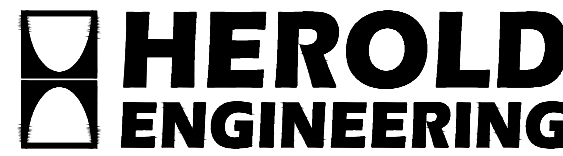
NTS



6300 HAMMOND ROAD RENOVATION

6300 HAMMOND ROAD, NANAIMO BC V9T 6N2

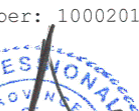
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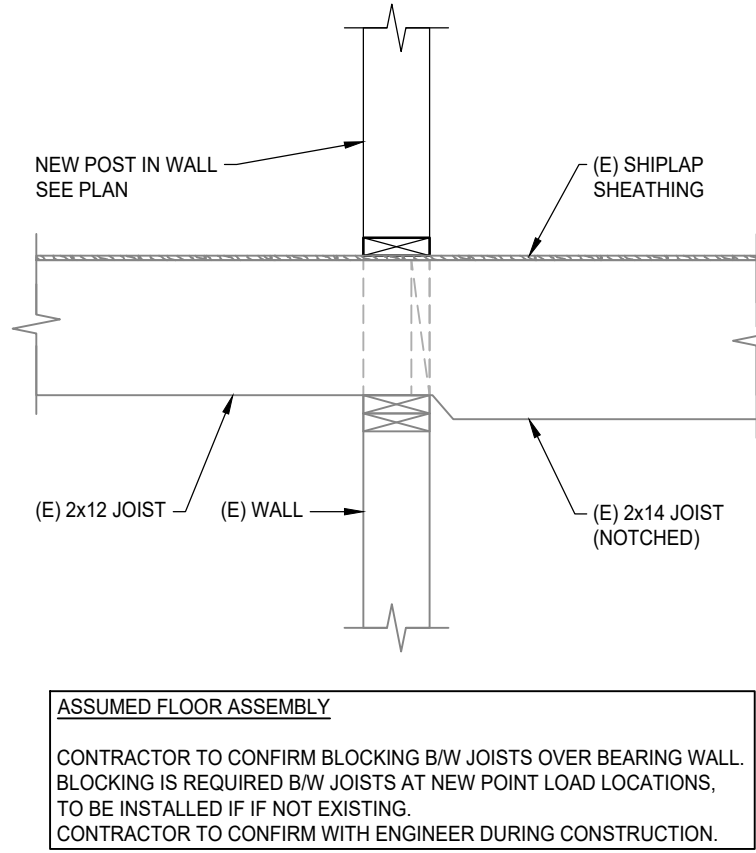
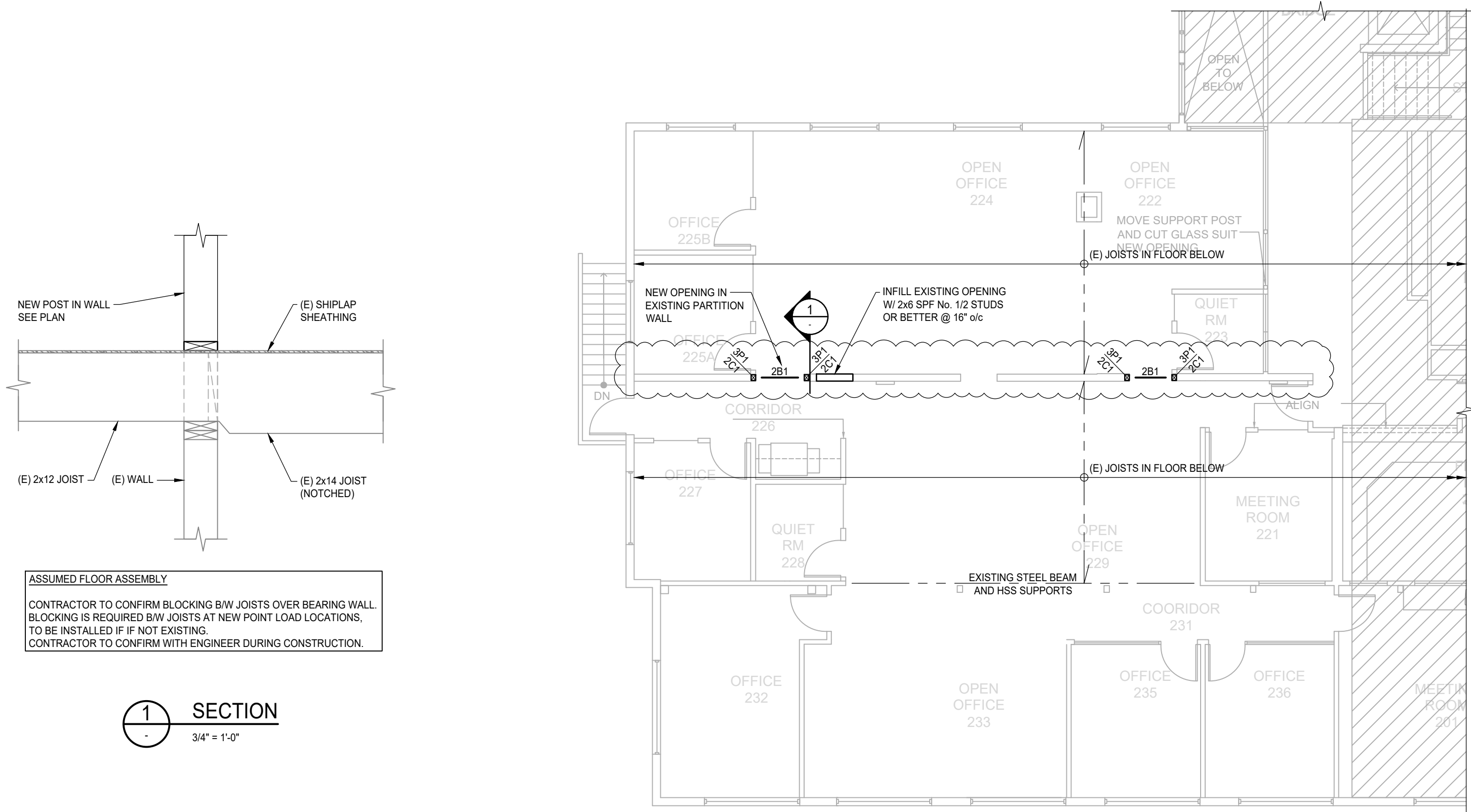


3701 Shenton Rd, Nanaimo, BC V9T 2H1
Tel: 250-751-8558 Fax: 250-751-8559
Email: mail@heroldengineering.com

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GENERAL NOTES


DESIGNED TM	ENGINEER'S SEAL Permit to Practice Number: 1000201	
DESIGN REVIEW SH		
DRAFTED MAC		
DRAFTING REVIEW -		
PROJECT No. 6234-001	CLIENT DRAWING No. n/a	REVISION
SCALE AS SHOWN	PERMIT No. n/a	
HEL DRAWING No. S101		




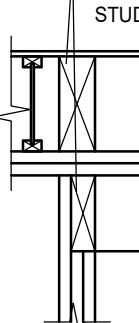
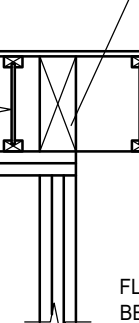


ASSUMED FLOOR ASSEMBLY
CONTRACTOR TO CONFIRM BLOCKING B/W JOISTS OVER BEARING WALL.
BLOCKING IS REQUIRED B/W JOISTS AT NEW POINT LOAD LOCATIONS,
TO BE INSTALLED IF IF NOT EXISTING.
CONTRACTOR TO CONFIRM WITH ENGINEER DURING CONSTRUCTION.

1 SECTION
3/4" = 1'-0"

PARTIAL LEVEL 2 PLAN
1/8" = 1'-0"

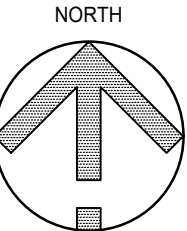
WOOD BEAM SCHEDULE	
TYPE	SIZE
B1	2x10 SPF No. 1/2 OR BETTER
LEGEND	
SIZE OF MEMBER  DENOTES FLUSH BEAM	
NOTES: 1. ALL BEAMS DROPPED U.N.O. 2. SCL GRADE TO BE 2.0E U.N.O. 3. MULTI PLY SCL NOT ALLOWED UNLESS APPROVED BY ENGINEER 4. ALL UNLABELLED BEAMS ARE 2B1	
NOTE: HEROLD ENGINEERING LTD IS RESPONSIBLE FOR NEW OPENING AND WALL STRUCTURE IN CLOUDED AREA ONLY	


POST SCHEDULE	
POST TYPE	SIZE
P1	2x6 SPF #2
POST LEGEND	
UNLABELLED POSTS TO BE 2 PLY: 1 FULL HEIGHT STUD & 1 CRIPPLE FOR DROPPED BEAMS	
LABELLED POSTS	
TOTAL NUMBER OF PLIES  SIZE OF STUD 	
NUMBER OF CRIPPLES  (MATCH POST STUDS) ALL UNLABELLED CRIPPLES ARE 2 PLY	
PROVIDE LVL SQUASH BLOCKS - FULL WIDTH OF WALL OVER STUDS BELOW	
 DROP BEAM  FLUSH BEAM	
NOTE: GRAVITY POSTS SPECIFIED HERE AND ON PLAN ARE IN ADDITION TO SHEARWALL POSTS	

6300 HAMMOND ROAD RENOVATION

6300 HAMMOND ROAD, NANAIMO BC V9T 6N2

ROOT INTERIORS

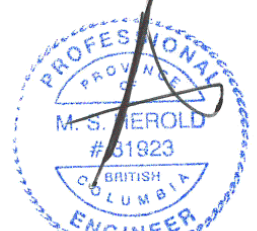


**HEROLD ENGINEERING**

3701 Shenton Rd, Nanaimo, BC V9T 2H1
Tel: 250-751-8558 Fax: 250-751-8559
Email: mail@heroldengineering.com

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PARTIAL LEVEL 2 FRAMING PLAN

DESIGNED TM	ENGINEER'S SEAL Permit to Practice Number: 1000201
DESIGN REVIEW SH	
DRAFTED MAC	
DRAFTING REVIEW -	
PROJECT No. 6234-001	CLIENT DRAWING No. n/a
SCALE AS SHOWN	PERMIT No. n/a
HEL DRAWING No. S201	REVISION