



**REQUEST FOR PROPOSALS No. 23-067**

**RDN Administration Office Renovation RFP**

**Addendum 1**

**(12 pages total)**

**Issued: November 21, 2023**

**Closing Date & Time: on or before 3:00 PM Pacific Time on November 30, 2023**

This addendum shall be read in conjunction with and considered as an integral part of the Request for Proposal. Revisions supersede the information contained in the original Proposal or previously issued Addendum. No consideration will be allowed for any extras due to any Proponent not being familiar with the contents of this Addendum. All other terms and conditions remain the same.

Please refer to the attached questions and answer and RFP addendums from the Regional District of Nanaimo's Consultant, Roots Interiors.

**Submissions and Questions are to be directed to:**

Sheldon Racz, Manager of Facilities and Fleet, Regional & Community Utilities, 250-390-6507, [sracz@rdn.bc.ca](mailto:sracz@rdn.bc.ca)

## ADDENDUM #1

Project Name: 23-067 RDN Office Densityfication Project  
6300 Hammond Bay Road

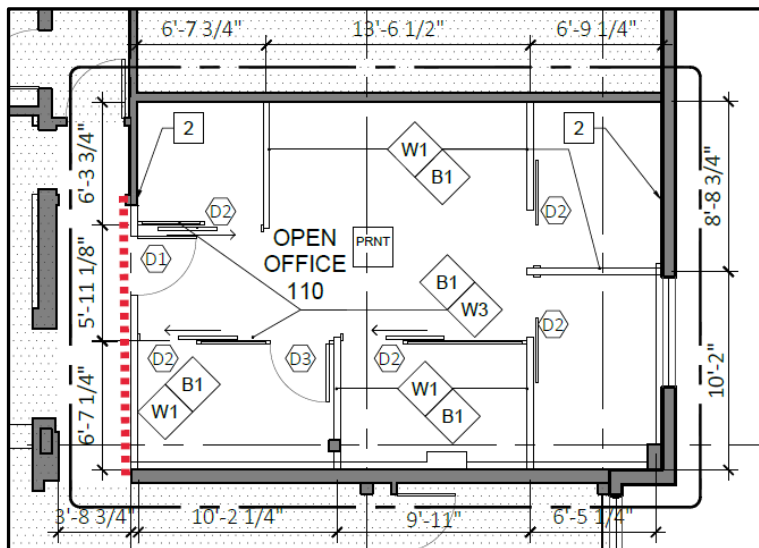
Issue Date: November 21, 2023

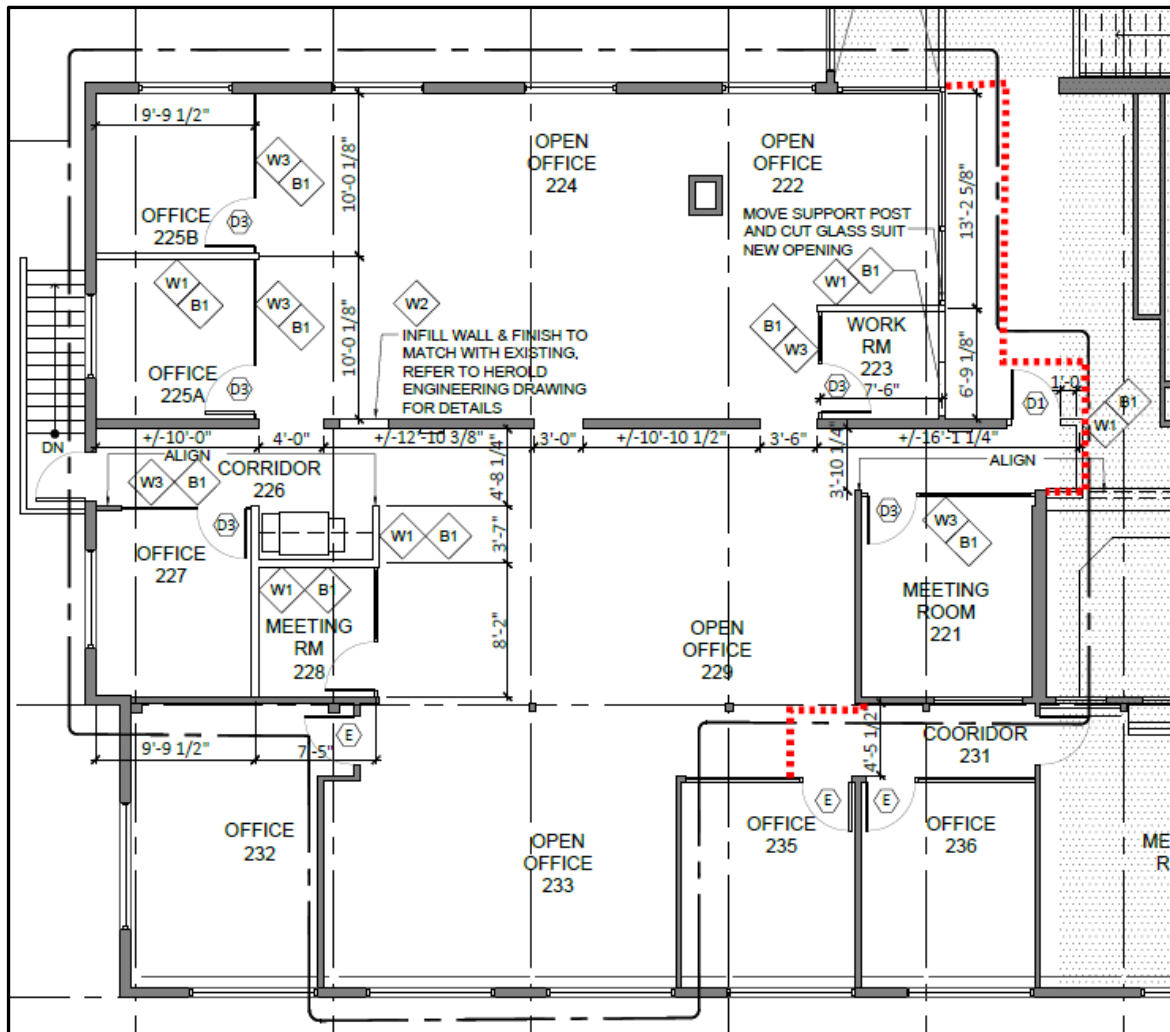
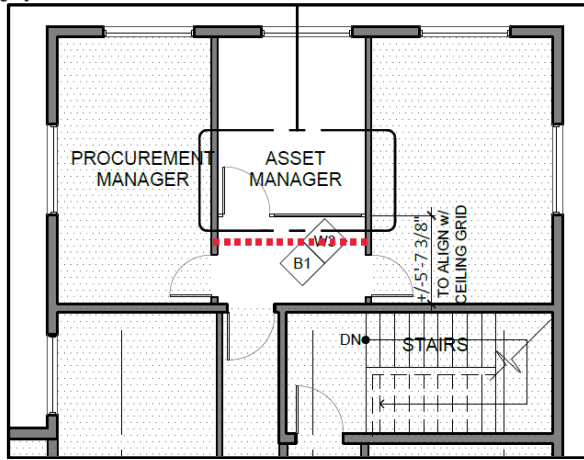
This addendum shall be considered an integral part of the Contract Documents and shall be read together with the drawings and specifications previously issued and with all subsequent addenda.

### Description:

Refer to responses to questions received to date/ clarifications related to site visit:

1. *Could you please confirm if all demolition scope will be done after-hours (e.g, t-bar ceiling, demountable partitions)*
  - a. If the contractor feels the work relating to demolition will be noisy, it should be completed outside of office hours.
2. *Extent/ type of Hoarding*
  - a. Plywood (hard) Hoarding to be supplied and installed by the contractor.
  - b. Hoarding should not impede exiting paths for building occupants.
  - c. The proposed location of hoarding is shown in red dashed line below. Doors/ access into the construction area will be along this line.





3. *Demountable Wall Manufacturer is Falkbuilt. It is supplied and installed by Innovior.*
  - a. Innovior Construction  
James Johnson, Interior Construction Specialist  
Phone: 250.217.3472 email: [jamesj@innovior.ca](mailto:jamesj@innovior.ca)
4. *Details of demountable walls at existing walls:*
  - a. Refer to enclosed revised drawing ID1.2 Demo plan for removal of existing glass above pony wall.
  - b. Refer to enclosed revised drawing ID3.2 RCP for location of existing GWB bulkhead.
  - c. Refer to 2 & 3 on the enclosed new drawing ID6.0 Elevations.
  - d. Final details to be developed as shop drawings by Falkbuilt.
5. *Electrical/ Data Scope:*
  - a. Power & data for workstations has been added to furniture plans. Refer to enclosed revised drawings ID4.1 & ID4.2.
  - b. Any changes from this scope of work will be issued as a Change Order.
6. *Access Control Scope:*
  - a. 2 doors required card readers. They are noted as Door Type D1, in the drawings, sheets original drawing ID2.1 & enclosed revised drawing ID2.2
7. *Exit signs.*
  - a. Only exit signs within the project areas need to be included in the scope of work. All other exit signs will be replaced in 2024 as part of RDN operations and are not part of this contract.
8. *Could you please advise the height from floor to underside of deck?*
  - a. Clear height was not measured during the site visit, site verification will be required. Previous building drawings indicate:
    - i. Renovation Area 1 Open Office Area 110: +/-9'-11"
    - ii. Renovation Area 2 +/- 11'-4"
    - iii. Renovation Area 3 Office Area, ceiling height varies. Refer to elevation 1/ ID6.0.
9. Furniture (workstations & chairs) is owner supplied & installed through Monk Office Furniture. Coordination of installation and access to site will be required, as well as connectivity of power to partitions.
10. Change of extent of carpet, refer to enclosed revised drawing ID1.2 Demo Plan & enclosed revised drawing ID5.2 Finish Plan.
11. *Questions and Answers regarding insurance coverage:*
  - a. Manned Aircraft and watercraft liability – If not utilizing, the applicable insurance is not required.
  - b. Unmanned aerial vehicle liability insurance – If not utilizing, the applicable insurance is not required.
  - c. Contractors' equipment insurance – Required. Contractors' equipment policies will provide coverage for two main areas: coverage for equipment against physical loss or damage to the equipment itself as well as insurance protection for potential liability insurance claims that could arise from the use and operation of such equipment. For example, Contractors' equipment inventory will be covered in the event of an insured loss such as fire or theft.
  - d. Is it necessary to have a \$5,000,000.00 limit for Contractor's Pollution Liability Insurance, or would a





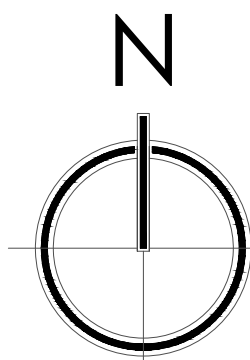
\$1,000,000.00 limit suffice? Minimum \$1,000,000 per occurrence and aggregate with a minimum \$50,000 deductible is sufficient.

Attachments:

- ID1.2 DEMOLITION PLAN LEVEL 2 revised November 20, 2023
- ID2.2 CONSTRUCTION PLAN LEVEL 2 revised November 20, 2023
- ID3.2 RCP LEVEL 2 revised November 20, 2023
- ID4.1 FURNITURE PLAN LEVEL 1 revised November 20, 2023
- ID4.2 FURNITURE PLAN LEVEL 2 revised November 20, 2023
- ID5.2 FINISH PLAN LEVEL 2 revised November 20, 2023
- ID6.0 ELEVATIONS (NEW SHEET) added November 20, 2023

END OF ADDENDUM

Prepared by: Shauna Root



CONSULTANT:

CONSULTANT:

NO.	REVISION	DATE
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-	ISSUED FOR CONSULTANT COORDINATION	2023.08.31
-	ISSUED FOR REVIEW	2023.08.15
-	ISSUED FOR DEMOUNTABLE WALL COORD.	2023.07.19

PROJECT NAME:

REGIONAL DISTRICT OF NANAIMO

6300 HAMMOND BAY ROAD  
NANAIMO, BC, V9T 6N2

DRAWING NAME:

## DEMOLITION PLAN LEVEL 2

PROJECT NUMBER: PROJECT DATE: MARCH 2023  
DRAWN: SR CHECKED: SR  
SCALE: AS NOTED  
DRAWING NO:

ID1.2

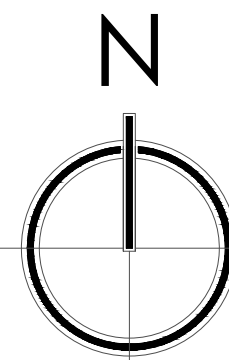
### DEMOLITION LEGEND

- CORE BUILDING PARTITION
- EXISTING PARTITION, MILLWORK, FIXTURE OR GLAZING TO BE REMOVED.
- EXISTING PARTITION TO REMAIN.
- EXISTING DOOR, FRAME AND HARDWARE TO BE REMOVED AND SET ASIDE FOR RE-USE.
- EXISTING T-BAR GRID TO BE REMOVED.

### DEMOLITION PLAN GENERAL NOTES

- FLOOR FINISHES TO REMAIN, PROVIDE FLOOR PROTECTION FOR SURFACES.
- RETAIN ALL LONG LENGTHS OF REMOVED BASE FOR REUSE AND PATCH & REPAIR.
- REMOVED LIGHT FIXTURES TO BE SET ASIDE FOR REUSE. REFER TO RCP FOR LOCATIONS.





CONSTRUCTION LEGEND

- EXISTING PARTITION  
NEW PARTITION

CONSTRUCTION PLAN KEY NOTES

- 1 SUPPLY AND INSTALL BLOCKING FOR WALL HUNG MONITORS, PROVIDE  
ADEQUATE FIRE RATED BLOCKING IN WALL FOR SUPPORT.  
2 PATCH AND REPAIR WALLS WHERE DEMO HAS OCCURRED.

WALL TYPE LEGEND

NOTE: ALL RATED AND UNRATED SLAB TO SLAB (FULL-HEIGHT) PARTITIONS TO HAVE  
ALL GWB JOINTS IN CEILING PLENUM TAPED AND FILLED. ALL GAPS AROUND SERVICE  
PENETRATIONS TO BE FILLED WITH BATT INSULATION AND TAPED.

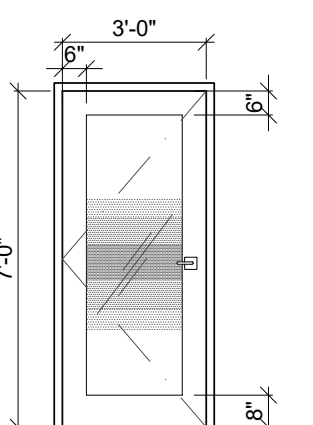
PARTITION	TYPE
W1 SOLID WALL FALK 4" SOLID WALL c/w FALKSKIN GRADE 1 FINISH, TBC	NEW UNRATED DEMOUNTABLE WALL SYSTEM, FALKBUILT PROVIDED BY INNOVIOR.  PARTITION RUNS FROM FLOOR SLAB TO UNDERSIDE OF FINISHED CEILING
W2 1/2" G.W.B. 6" SPF STUDS @ 16" O.C. FRICTION FIT ACOUSTIC BATT INSULATION 1/2" G.W.B.	NEW UNRATED INTERIOR PARTITION  PARTITION RUNS FROM FLOOR SLAB TO UNDERSIDE OF FINISHED CEILING
W3 GLAZING WALL FALK KAI OFFICE GLAZING SYSTEM  LOW PROFILE ALUMINUM FRAME c/w 12MM TEMPERED GLAZING FINISH: STANDARD BLACK POWDERCOAT	NEW DEMOUNTABLE GLASS WALL SYSTEM, FALKBUILT PROVIDED BY INNOVIOR.  PARTITION RUNS FROM FLOOR SLAB TO UNDERSIDE OF FINISHED CEILING. NEW UNRATED DEMOUNTABLE WALL SYSTEM, FALKBUILT PROVIDED BY INNOVIOR.
PLENUM SOUND BAFFLES	
B1 2" RIGID INSULATION	2" FOIL BACK INSULATION, FOIL BOTH SIDES. SPACE BETWEEN BOTTOM OF BAFFLE AND TOP OF CEILING TILE TO BE FILLED WITH COMPRESSIBLE ETHAFOAM ROD. METAL ANGLES AS REQUIRED FOR SUPPORT. ALL CONNECTIONS TO BE TAPED WITH COMPATIBLE FOIL TAPE. ALL PENETRATIONS TO BE SEALED WITH CAULKING.

DOOR SCHEDULE

- EXISTING DOOR  
SWING DOOR, PART OF DEMOUNTABLE SYSTEM  
FALK KAI OFFICE GLAZING SYSTEM, INSET PIVOT DOOR  
LOW PROFILE FRAME, w/ 12MM TEMPERED GLASS INSERT  
w/ 24" BAR PULL, HARDWARE #1  
FINISH: STANDARD BLACK POWDERCOAT  
SLIDING DOOR, PART OF DEMOUNTABLE SYSTEM  
FALK KAI OFFICE GLAZING SYSTEM  
LOW PROFILE FRAME, w/ 12MM TEMPERED GLASS INSERT  
PASSAGE SET w/ 24" BAR PULL,  
FINISH: BLACK POWDERCOAT  
SWING DOOR, PART OF DEMOUNTABLE SYSTEM  
FALK KAI OFFICE GLAZING SYSTEM, INSET PIVOT DOOR  
LOW PROFILE FRAME, w/ 12MM TEMPERED GLASS INSERT  
PASSAGE SET, w/ 24" BAR PULL,  
FINISH: STANDARD BLACK POWDERCOAT

HARDWARE #1

- 4 CONCEALED HINGES  
1 DOME DOOR STOP  
1 DOOR LEVER HANDLE  
1 CONCEALED CLOSER  
1 CARD READER



TYPE D1

PAINT GRADE DOOR WITH GLASS PANEL  
3'-0" x 7'-0" x 1 3/4"

- DOOR TYPES  
SCALE 1/4"=1'-0"

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REGIONAL DISTRICT OF NANAIMO

6300 HAMMOND BAY ROAD  
NANAIMO, BC, V9T 6N2

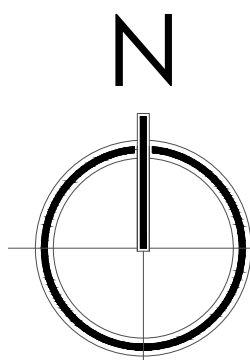
DRAWING NAME:

CONSTRUCTION PLAN  
LEVEL 2

PROJECT NUMBER:	PROJECT DATE:	MARCH 2023
DRAWN: SR	CHECKED:	SR
SCALE:	AS NOTED	
DRAWING NO:		

ID2.2





#### RCP GENERAL NOTES

- EXISTING SPRINKLER AND MECHANICAL SHOWN FOR REFERENCE ONLY.
- NEW SPRINKLER HEADS TO BE PROVIDED AS REQUIRED TO SUIT NEW WALL LOCATIONS.
- NEW MECHANICAL S/A & R/A DIFFUSERS TO PROVIDED TO SUITE NEW WALL LOCATIONS, AND SYSTEM BALANCED.
- COORDINATE ZONING AND SWITCHING WITH REGIONAL DISTRICT OF NANAIMO.

#### LIGHTING LEGEND

- 2'x2' RECESSED LED
- 1'x4' RECESSED FIXTURE
- 2'x4' RECESSED FIXTURE
- 1'x4' SURFACE MOUNTED FIXTURE
- RECESSED DOWNLIGHT
- SUSPENDED LINEAR
- WALL SCONCE
- PENDANT
- EXISTING
- RELOCATED
- EXIT LIGHT
- EMERGENCY LIGHT

#### MECHANICAL LEGEND

- DIFFUSER
- DIFFUSER - RELOCATED
- DIFFUSER - EXISTING LOCATION OF RELOCATED FIXTURE
- RETURN AIR GRILLE
- SPRINKLER HEADS (EXISTING LOCATIONS NOTED). RELOCATE EXISTING HEADS & ADD NEW TO SUIT NEW WALL LAYOUT.
- EXISTING SIDE-WALL SPRINKLER HEADS

#### RCP SCHEDULE

- EXISTING ACOUSTIC TILE CEILING
- MANUF: CGC (OR APPROVED ALTERNATE)
- PRODUCT: MARS CLIMAPLUS HIGH NRC/ HIGH CAC
- CODE: 88154
- SIZE: 24" X 24" 1" THICK
- ACOUSTIC: 085 NRC, 35 CAC
- LVR: 0.9
- COLOUR: WHITE
- SUSPENSION SYSTEM: DONN BRAND DX/DLX SYSTEM
- SIZE: EXPOSED T-GRID
- COLOUR: FLAT WHITE

#### LIGHTING SCHEDULE

- TYPE: RECESSED LIGHTING LIGHTING
- MANU: LITHONIA
- SUPPLIER: WILSON DAU, SYMMETRY
- MODEL: STACK
- STACK2X23000LM80CRI30KCOLMIN1MVOLT-NLAI2
- SIZE: 2'X 2'
- LUMENS: 3000 LM, TYPICAL
- 4000LM & 5000LM ARE NOTED ON PLAN
- 80
- CR: COLOUR TEMP: 3000 K
- LENS: CURVED OPAL LENS
- DIMMING: DIMS TO 1%
- CONTROLS: nLIGHT AIR GENERATION 2 (WIRELESS) ENABLED

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DRAWING NAME:

RCP  
LEVEL 2

PROJECT NUMBER:	PROJECT DATE:	MARCH 2023
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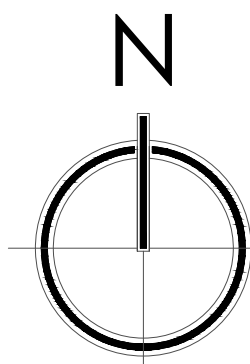
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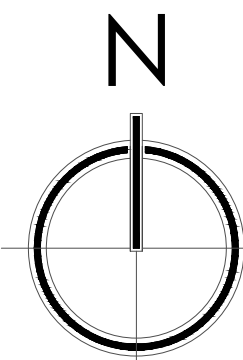
FURNITURE PLAN  
LEVEL 1

PROJECT NUMBER: PROJECT DATE: MARCH 2023  
DRAWN: SR CHECKED: SR  
SCALE: AS NOTED  
DRAWING NO:

ID4.1







CONSULTANT:

CONSULTANT:

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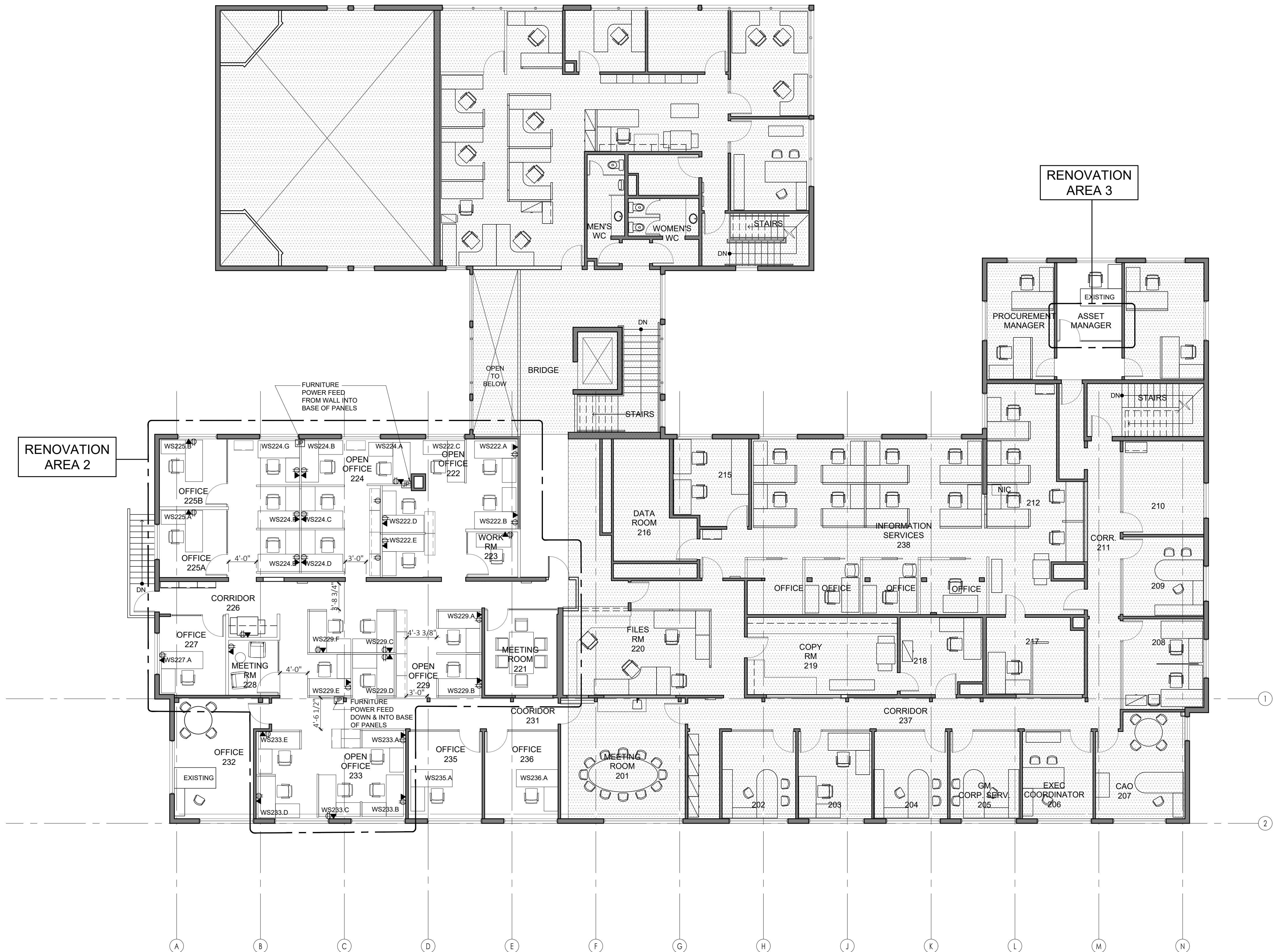
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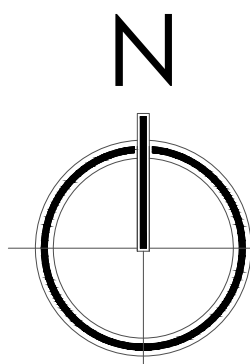
FURNITURE PLAN  
LEVEL 2

PROJECT NUMBER: PROJECT DATE: MARCH 2023  
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ID4.2







FINISH PLAN GENERAL NOTES

- UNLESS OTHERWISE NOTED, ALL WALLS TO BE P1.
- NEW FLOORING SHALL BE INSTALLED PRIOR TO INSTALLATION OF DEMOUNTABLE WALL SYSTEM.
- FLOOR NEEDS TO BE LEVEL WITHIN 1" OVER A 10'-0" SPAN FOR INSTALLATION OF DEMOUNTABLE WALL SYSTEM.

FINISH SCHEDULE

EX EXISTING TO REMAIN

CARPET

E-CA TYPE: EXISTING CARPET TILE  
SUPPLIER: INTERFACE  
PRODUCT: CUBIC  
PRODUCT #: 1380102500  
COLOUR: CONSTRUCTION  
COLOUR #: 006395  
SIZE: 20" X 20"  
INSTALLATION: NON-DIRECTIONAL  
NOTE: 4 BOXES OF CARPET IS AVAILABLE  
AS ATTIC STOCK ONSITE. IF ADDITIONAL CARPET  
IS REQUIRED TO PATCH & REPAIR WHERE DEMO  
HAS OCCURRED, IT SHOULD BE ORDERED.

PAINT

P1 MANUFACTURER: SHERWIN WILLIAMS  
PRODUCT: EGGSHELL  
COLOUR: TBC  
LOCATION: WALLS & BULKHEADS AS  
NOTED

P2 MANUFACTURER: SHERWIN WILLIAMS  
PRODUCT: SEMI-GLOSS  
COLOUR: TBC  
LOCATION: DOORS AS NOTED

GLAZING FILM

GF MANU: 3M  
PRODUCT: FASARA GLASS FINISH  
PATTERN: CENTER GRADATION  
CLOUD NARROW  
FILM TYPE: POLYESTER  
COLOUR: WHITE  
WIDTH: 50"  
LOCATION: GLAZED WALLS AND DOORS  
INSTALL: FOLLOW MANUFACTURE'S  
RECOMMENDATIONS

CONSULTANT:

CONSULTANT:

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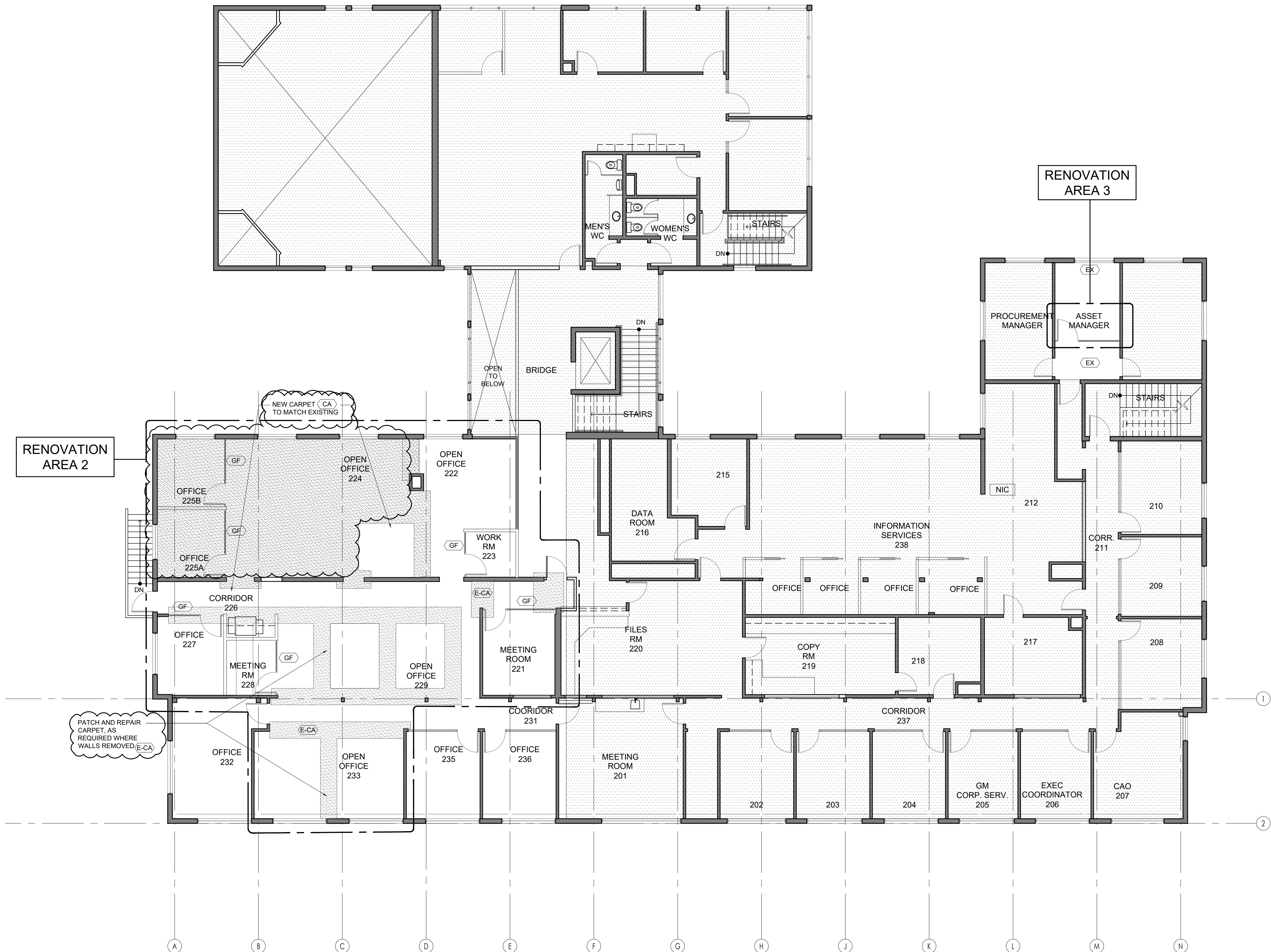
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FINISH PLAN  
LEVEL 2

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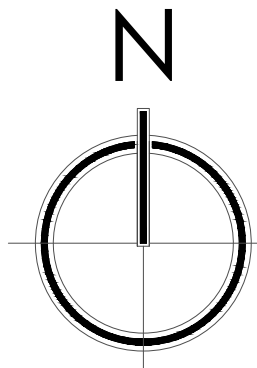
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ELEVATIONS

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ID6.0

