



REQUEST FOR STATEMENTS OF QUALIFICATIONS (RFSQ) No. 22-037

DATE: March 30, 2022

Project Title: REMEDIATION AND CONVERSION OF ELEMENTARY SCHOOL SPACE TO COMMUNITY RECREATION SPACE, STAGE 1- MINIMUM UPGRADES FOR OCCUPANCY

The Regional District of Nanaimo invites qualified and experienced firms to submit Statements of Qualifications to guide the remediation and conversion of elementary school space to community recreation space. The repurposing of the South Wellington Elementary School, which has recently been leased to the Regional District of Nanaimo for twenty-five (25) years from Nanaimo Ladysmith Public Schools, will create much needed community recreation space in Electoral Area A of the RDN.

A. Intent

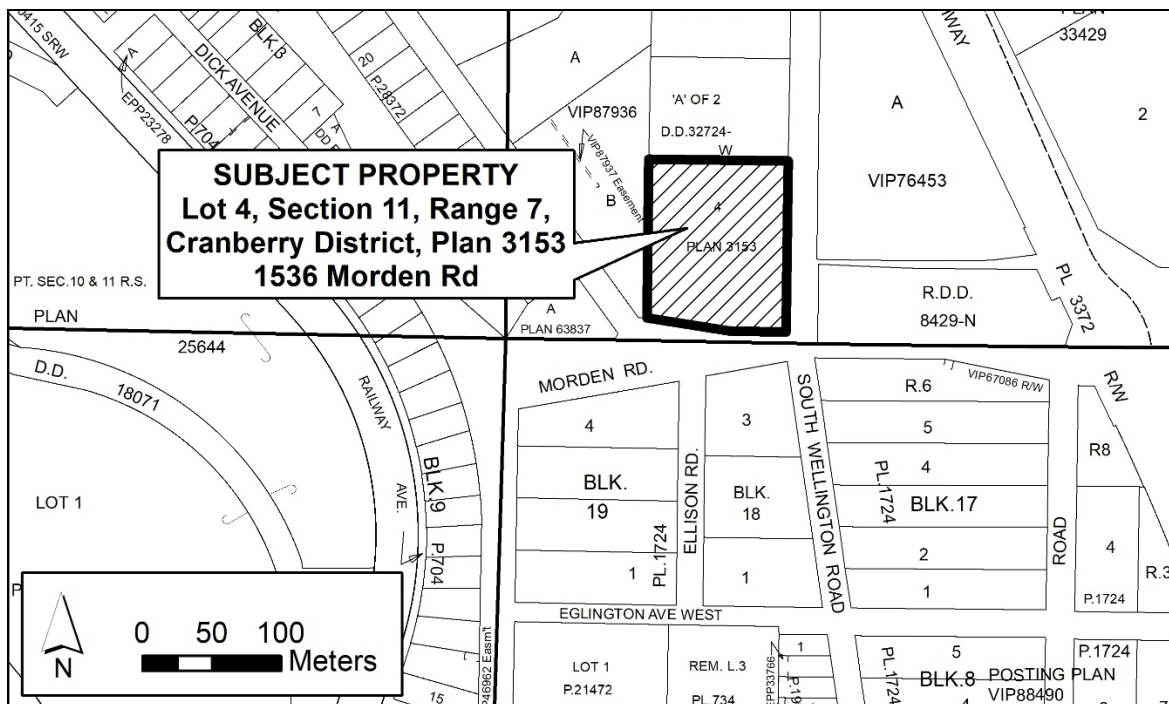
This Request for Statements of Qualifications (RFSQ) is issued to determine the most qualified and experienced service provider that can meet the Regional District of Nanaimo's requirements, expectations, and timeline.

The Regional District of Nanaimo will review submissions received in response to this RFSQ and enter discussions with the top-ranked Respondent to negotiate the terms, scope, timeline, and cost based on the actual scope of work required (the Work). Should these negotiations fail to result in a contract for the Work, the Regional District of Nanaimo may then elect to negotiate with the next highest ranked service provider and so on until an agreement is reached or the process cancelled.

In any event, the Regional District of Nanaimo shall not be bound to enter a contract with any Respondent to this RFSQ and, at its sole discretion, may elect to collapse this process.

B. Background

South Wellington School was constructed in 1969 and sits on approximately 3-acres immediately west of the Trans-Canada Highway in Electoral Area A. The building was last used as an elementary school in 2013 and offers 9,108 sq. ft. of functional, indoor space with an additional 5,932 sq. ft. lower - level storage area and 2,207 sq. ft. of covered, outdoor space.



A condition assessment of the school was completed in June 2020. It was determined that the building components and systems have been well maintained over the course of the building history. However, many of the components are original to the 1969 construction and need replacement as they are well past their expected service life.

While the school and site do have some challenges, it is viable that with improvements ranging from \$1.05 million to \$3.17 million the school could be remediated and used as a community centre. These challenges include, limited onsite parking, no accessibility for persons with disabilities and repairs and improvements required for: building envelope, main mechanical systems, building safety and hazardous material abatement.

C. Contemplated Scope of Work and Timeline

The RDN Board has approved the project to be completed over a series of stages. Stage 1 – Minimum Upgrades for Occupancy is anticipated to include:

- Structural Retrofit: Seismic retrofits in accordance with Ministry of Education seismic retrofit guidelines in place at the time of the design or performance of the work;
- Renewal of Life-Expired Building Enclosure Components: replacement of roof system, windows, exterior doors, exterior painting and improve insulation R Values;
- Hazardous Materials Abatement;
- Site Parking and Access Improvements (including Fire Access Route Upgrades);

- Other Related Upgrades that would improve the Permitted Uses and comply with the current BC Building Code Assembly Group A Division 2.

This project; **Stage 1 - Minimum Upgrades for Occupancy** is anticipated to start as soon as a formal agreement is in place with implementation anticipated to be completed by December 31, 2022, with the following anticipated scope:

Phase I

Design and Planning Phase:

- Concept and Schematic design within existing school site
- Develop designs and drawings, specifications, and plans (including Class B cost estimates and timelines) consistent with applicable Federal/Provincial/Local code requirements, and RDN's needs and strategic priorities.

Phase II

Preconstruction and Tender Phase:

- Develop drawings, plans, and specifications necessary for construction
- Assist RDN in developing bidding documents for construction or other needs as determined and responding to potential tender questions, incorporating necessary criteria to address requirements such as environmental and social sustainability.

Phase III

Construction Phase:

- Oversee all construction
- Establish project schedules to minimize downtime, and construction delays
- Ensure construction is in-line with approved architectural design
- Ensure construction is being carried out in accordance with contractual sustainability commitments, e.g., mitigating GHG emissions, advancing on zero waste priorities, etc.
- Ensure the necessary approvals and permits for design and construction are obtained when applicable.

D. Deliverables & Outcomes

The successful proponent will provide the following deliverables and outcomes to the RDN:

- Facility space audit and space needs analysis
- Provide recommendations for utilization and re-purposing school space to community recreation space.
- Cost estimates and establish project schedules
- Drawings, plans, and specifications necessary for tender and construction
- Assist RDN in developing bidding documents for construction or other needs

- Alignment with relevant RDN strategic policies, such as RDN's Wood First Policy and the RDN Purchasing Policy.
- Maximizing building performance, optimizing energy efficiency, minimizing construction waste and GHG emissions, and maximizing positive social and community benefits, e.g., providing employment opportunities for individuals facing barriers, subcontracting to social enterprises or Indigenous or small businesses.

E. Statement of Qualifications and Evaluation

The statement of qualifications should be no longer than **twenty (20)** single sided pages minimum 10-point font in length including cover page, cover letter and appendices. Please include the following:

- Corporate background, history, and areas of expertise.
- Provide an organizational chart that identifies the proposed Project Team, Project Manager and any key subconsultants that clearly outlines their roles and responsibilities.
- Experience of Firm and nominated Project Manager in previous relevant work. Provide short descriptions of similar projects and assignments completed by both the Firm and nominated Project Manager.
- Please include CV/Resume of the Project Manager and explain why they were selected for this project and how this individual will provide value for the RDN.
- RDN is committed to championing sustainable procurement, to address environmental sustainability, and to derive social and community benefit from large infrastructure and construction projects: Please describe your proposed approach to maximize the above opportunities throughout the three phases of the project.
- Briefly describe your Firm's approach or experience in addressing the environmental and/or social outcomes detailed above for this type of project.
- Briefly describe your Firm's approach to projects of this type. Identify potential challenges, constraints, and obstacles your firm has experienced with similar projects and strategies you have utilized to minimize.
- Include a statement committing your firm to complete the work within the timeframe described.

Statements of Qualifications (the "SOQ") will be evaluated by the Regional District of Nanaimo based on the above. Any or all SOQs will not necessarily be accepted.

E. Submission Date & Time

Statements of Qualifications should be received on or before 3:00:00 p.m. local time on April 25, 2022. The RDN reserves the right to accept late submissions.

F. Questions and Submissions

Questions and submissions should be directed to:

Dean Banman, MBA
Manager, Recreation Services, Recreation and Parks
Regional District of Nanaimo
Email: dbanman@rdn.bc.ca

Additional Information

<https://www.rdn.bc.ca/alternative-approval-process-long-term-lease>