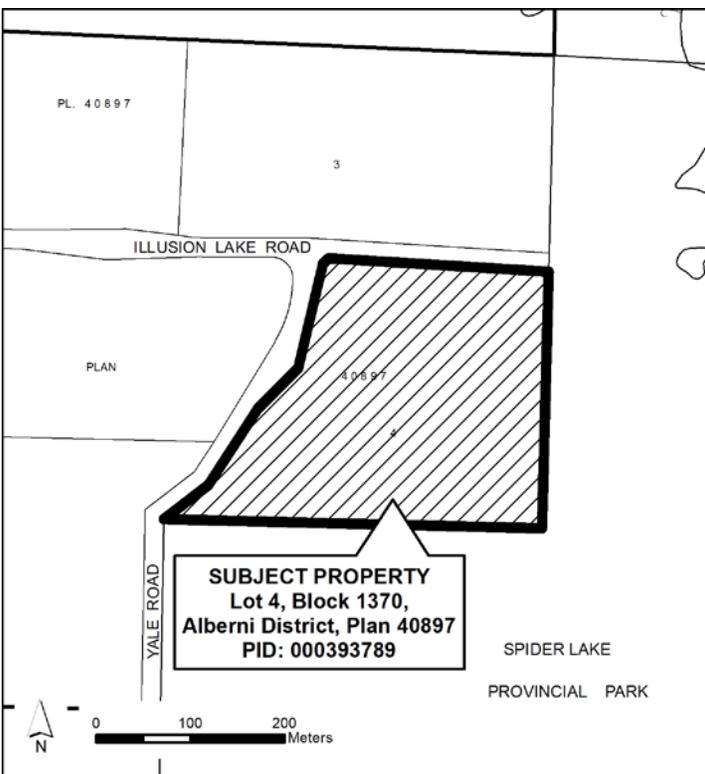


Pursuant to Sections 464, 465 and 466 of the *Local Government Act* the Regional District of Nanaimo advises of a public hearing regarding zoning amendments for “Regional District of Nanaimo Land Use and Subdivision Amendment Bylaw No. 500.430, 2020” (Bylaw 500.430) and “Regional District of Nanaimo Land Use and Subdivision Amendment Bylaw No. 500.431, 2020” (Bylaw 500.431). This public hearing is convened by electronic means as authorized by Ministerial Order No. M192, “Local Government Meetings and Bylaw Process (COVID-19) Order No. 3”.

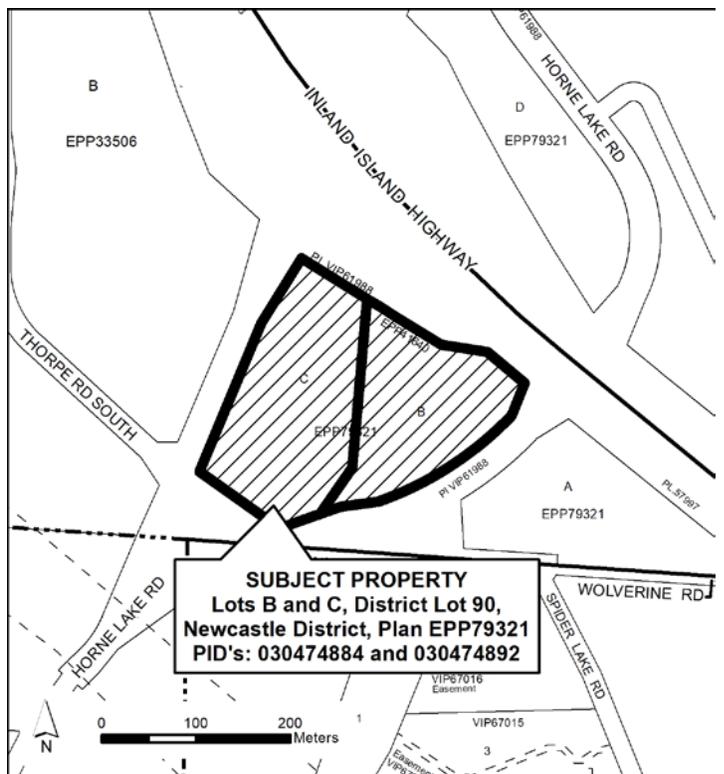
**PURPOSE OF BYLAW 500.430 – Yale Road**

To rezone the subject property from Resource Management 1 Zone to Yale Road Light Industrial Comprehensive Development Zone 53 under “Regional District of Nanaimo Land Use and Subdivision Bylaw No. 500, 1987”, to facilitate a proposed three-lot subdivision, small sawmill, and mini-storage facility on the parcel shown below and generally proposed as shown on Attachment 1.



**PURPOSE OF BYLAW 500.431 – Horne Lake Road**

To rezone the subject property from Rural 6 Zone to Horne Lake Service Commercial Comprehensive Development Zone 54 under “Regional District of Nanaimo Land Use and Subdivision Bylaw No. 500, 1987”, to permit a service station, convenience store, café, artist studio, tourist store, tourist information booth and produce market on the parcels shown below and generally proposed as shown on Attachment 2.



**MEETING DETAILS**

**Thursday, September 17, 2020 at 6:00 p.m. electronically or by telephone through Zoom.**

**HAVE YOUR SAY**

With the current restrictions on public gatherings due to the COVID-19 pandemic requirements, a virtual public hearing will be held. The public may attend by joining the Zoom meeting via telephone or over the Internet via smartphone, tablet or computer. For information on how to register to attend or speak through Zoom visit [rdn.bc.ca/public-hearings](https://www.getinvolved.rdn.ca/public-hearings) or phone 250-390-6510. All persons who consider their interest in their property to be affected by either of the proposed bylaws shall be afforded an opportunity to be heard electronically or by written submission at the public hearing. Written submissions can be provided in advance of the public hearing and must be received at the RDN office by 4:30 p.m. September 17, 2020 to ensure their inclusion in the public record. While participation via telephone or Zoom is strongly recommended, any interested person not able to attend electronically may attend in person during the public hearing at the Regional District of Nanaimo Administration Building, 6300 Hammond Bay Road, Nanaimo.

**WHERE CAN I INSPECT THE DOCUMENTS?**

A copy of the proposed bylaws and relevant documents may be inspected at <https://www.getinvolved.rdn.ca/PL2019-081> (Yale Road) or <https://www.getinvolved.rdn.ca/pl2020-007> (Horne Lake Road) or by contacting the RDN as below.

The public hearing for these bylaws will be chaired by Director McLean or his alternate as a delegate of the Board.

**For more information please contact:**

250-390-6510 or 1-877-607-4111

 [planning@rdn.bc.ca](mailto:planning@rdn.bc.ca)

 [rdn.bc.ca/public-notice](https://www.getinvolved.rdn.ca/public-notice)

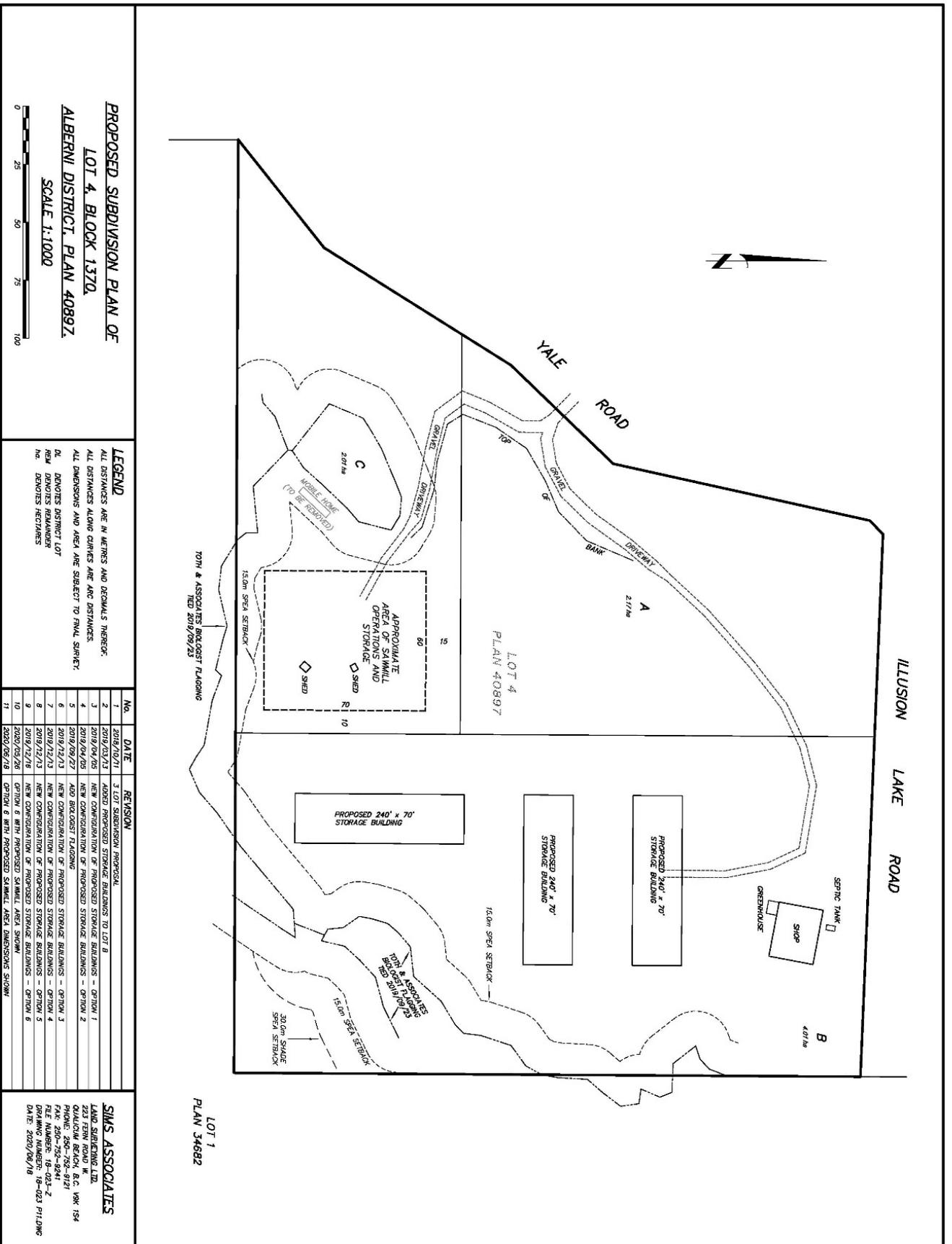
 [www.rdn.bc.ca](https://www.rdn.bc.ca)

**Get Involved RDN!**

# Attachment 1

## Bylaw 500.430 – Yale Road

### Proposed Site Plan



**PROPOSED SUBDIVISION PLAN OF LOT 4, BLOCK 1370, ALBERN DISTRICT, PLAN 40897. SCALE 1:1000**

**LEGEND**  
 ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF.  
 ALL DISTANCES ALONG CURVES ARE ARC DISTANCES.  
 ALL DIMENSIONS AND AREA ARE SUBJECT TO FINAL SURVEY.  
 DR. DENOTES DISTRICT LOT.  
 REA. DENOTES REMAINDER.  
 HA. DENOTES HECTARES.

No.	DATE	REVISION
1	2018/02/01	3. LOT SUBDIVISION PROPOSAL
2	2018/02/13	ADDED PROPOSED STORAGE BUILDINGS TO LOT B
3	2018/04/05	NEW CONFIGURATION OF PROPOSED STORAGE BUILDINGS – OPTION 1
4	2018/04/05	NEW CONFIGURATION OF PROPOSED STORAGE BUILDINGS – OPTION 2
5	2018/09/27	ADD BIOLOGIST FLAGGING
6	2019/12/13	NEW CONFIGURATION OF PROPOSED STORAGE BUILDINGS – OPTION 3
7	2019/12/13	NEW CONFIGURATION OF PROPOSED STORAGE BUILDINGS – OPTION 4
8	2019/12/18	NEW CONFIGURATION OF PROPOSED STORAGE BUILDINGS – OPTION 5
9	2020/05/26	OPTION 6 WITH PROPOSED SAWMILL AREA SHOWN
10	2020/05/26	OPTION 6 WITH PROPOSED SAWMILL AREA DIMENSIONS SHOWN
11	2020/05/18	

**SIMS ASSOCIATES**  
 LAND SURVEYING LTD.  
 223 FEIN ROAD W.  
 QUALICUM BEACH, B.C. V9K 1S4  
 PHONE: 250-752-8121  
 FAX: 250-752-8122  
 FILE NUMBER: 18-023-2  
 DRAWING NUMBER: 18-023 P1-L10MG  
 DATE: 2020/05/18

# Attachment 2 Bylaw 500.431 – Horne Lake Road Proposed Site Plan

