



## REQUEST FOR STATEMENTS OF QUALIFICATIONS (RFSQ) No. 20-006

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**Date:** January 8, 2020

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**Project Title:** Anders & Dorrit's Community Park – Detailed-Design, Tender & Contract Administration

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The Regional District of Nanaimo (RDN) invites qualified and experienced firms to submit Statements of Qualifications to complete the detailed-design and provide tendering and contract administration services for Anders & Dorrit's Community Park in the RDN's Electoral Area C (East Wellington/Pleasant Valley). Based on the attached Concept Plan, the successful proponent will complete final design details, costing and tender-ready construction package for the project. The ideal project team will consist of landscape architect, engineer and qualified environmental professionals.

### **A. Intent**

This Request for Statements of Qualifications (RFSQ) is issued to determine the most qualified and experienced service provider that can meet the Regional District of Nanaimo's requirements, expectations and timeline.

The Regional District of Nanaimo will review submissions received in response to this RFSQ and enter into discussions with the top-ranked Respondent to negotiate the terms, scope, timeline and cost based on the actual scope of work required (the Work). Should these negotiations fail to result in a contract for the Work, the Regional District of Nanaimo may then elect to negotiate with the next highest ranked service provider.

In any event, the Regional District of Nanaimo shall not be bound to enter into a contract with any Respondent to this RFSQ and, at its sole discretion, may elect to collapse this process.

### **B. Background**

Anders & Dorrit's Community Park is an approximate 2.5 hectare (6 acre) RDN Community Park located at 3734 Jingle Pot Road (Context Map attached). The site is within the Agricultural Land Reserve and was previously the home of Anders and Dorrit Olesen. By Will, the property was bequest to the RDN with the intent to create a Community Park. Guided by initial community consultation, the decision was made to remove the house. The foundation, concrete pad for the workshop, driveway, limited parking, brick patio and impressive collection of specimen trees and shrubs remain on site. There is electrical and a well on the property, however neither are functioning or serving any purpose at this time. The Millstone River runs through the south-

eastern corner of the property. Land on the east side of river is not publicly accessible and is considered conservation area. A trail to the river exists and there is a desire to improve it with culverts and/or footbridge to create a year-round “River Walk” trail. Currently, the perimeter of the field is mown to provide an easy walking trail around the hay field. Hay from the field is harvested by a neighbour (see attached Site Survey).

A Concept Plan (attached) was prepared that reflects the wishes of the previous owners, input from the East Wellington/Pleasant Valley Parks and Open Spaces Advisory Committee, and the community. The Concept was submitted to the Agricultural Land Commission for approval, however; it was turned down with a requirement to keep the works to the original “homeplate” area (a 0.1 ha (1000 sq.m.) area around the former house). As a result, a Revised Concept Plan (attached) was prepared with a reconfigured parking area and no picnic shelter. The Ministry of Transportation and Infrastructure (MOTI) has also reviewed the revised concept with respect to the second access point into the park with no issues raised.

### **C. Contemplated Scope of Work and Timeline**

*The successful project team will be responsible for the following contemplated scope of work & deliverables:*

1. Detailed design and Class B construction cost-estimate.
2. Environmental assessment and permitting of proposed works to create a year-round river loop trail (e.g. culvert and/or bridge at two locations on the property)\*
3. Supporting information for relevant permits and approvals.  
Anticipated permits/approvals include:
  - MOTI permit for driveway access and any other works in the road allowance;
  - Notification or approval under relevant Provincial Water Sustainability Act or Federal Fisheries Act, as may be required;
  - RDN Building Permit, as may be required
  - RDN Development Permits or Variances, as may be required
  - Other provincial/ federal/ local requirements that arise through detailed-design.
4. Preparation of a tender-ready construction package, including updated Class A cost-estimate.
5. Tender and Construction services (pending Board approval to award the construction contract).

\* Works related to creating a year-round river loop trail may be presented as optional in the tender package depending on costs and approvals required.

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*Proposed Timeline:*

- January 8, 2020: Issue RFSQ
- February 12, 2020: RFSQ Deadline
- February 20 – February 28, 2020: Negotiation and Contract Award
- March – May, 2020: Detailed-design details, costing & environmental study
- May – June, 2020: Permit/ Approval applications
- June – July, 2020: Budget allocation for construction in 2021 (may require Board approval)
- September, 2020: Preparation of tender-ready package once all approvals/permits in place (timeline unknown).
- November – December, 2020: Tender the project for construction in 2021
- January – February 2021: Board approval to award construction contract
- March 2021: Begin construction.

**D. Statement of Qualifications and Evaluation**

The Statements of Qualifications (the “SOQ”) should be no longer than five (5) pages in length (not including cover page, cover letter and appendices), and should be submitted electronically in pdf format to: [kcramer@rdn.bc.ca](mailto:kcramer@rdn.bc.ca). Please include the following:

- Firm qualifications and areas of expertise. Note any *local* knowledge/experience.
- Experience of the project manager and key personnel in previous relevant work. Provide short descriptions of similar projects completed by key personnel, including proposed sub-consultants, if applicable.
- Brief description of your Firm’s approach to project delivery and how the project manager will meet project goals and timelines.
- 2-3 references (name, email, phone number & relevant project).
- A statement of your Firm’s ability to provide the following insurance prior to project start-up:

Comprehensive General Liability in an amount not less than two million dollars (\$2,000,000.00) inclusive per occurrence against bodily injury and property damage. The Regional District is to be added as an additional insured under this policy, is to be endorsed to provide the Regional District with 30 days advance written notice of cancellation or material change and include a cross liability clause.

Professional liability (errors and omissions) insurance coverage shall be maintained to a limit of not less than \$250,000 per claim, \$1,000,000 aggregate.

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Statements of Qualifications will be evaluated by the Regional District of Nanaimo. Any or all SOQs will not necessarily be accepted. Evaluation criteria and relevant weightings are:

- Qualifications of the Firm, including relevant local projects – 15%
- Qualifications and experience of the project manager and key personnel, including sub-consultants, in similar relevant projects – 40%
- Project understanding, approach to project management and delivery of the project's goals and timeline are clearly presented – 40%
- References are provided as requested – 5%

**E. Submissions**

Statements of Qualifications should be received by 3:00:00 p.m. local time on the 12th day of February, 2020.

**F. Inquiries**

Submissions and inquiries shall be directed to:

Kelsey Cramer, Parks Planner  
Telephone: 250-248-4744 ext. 3664  
Email: [kcramer@rdn.bc.ca](mailto:kcramer@rdn.bc.ca)

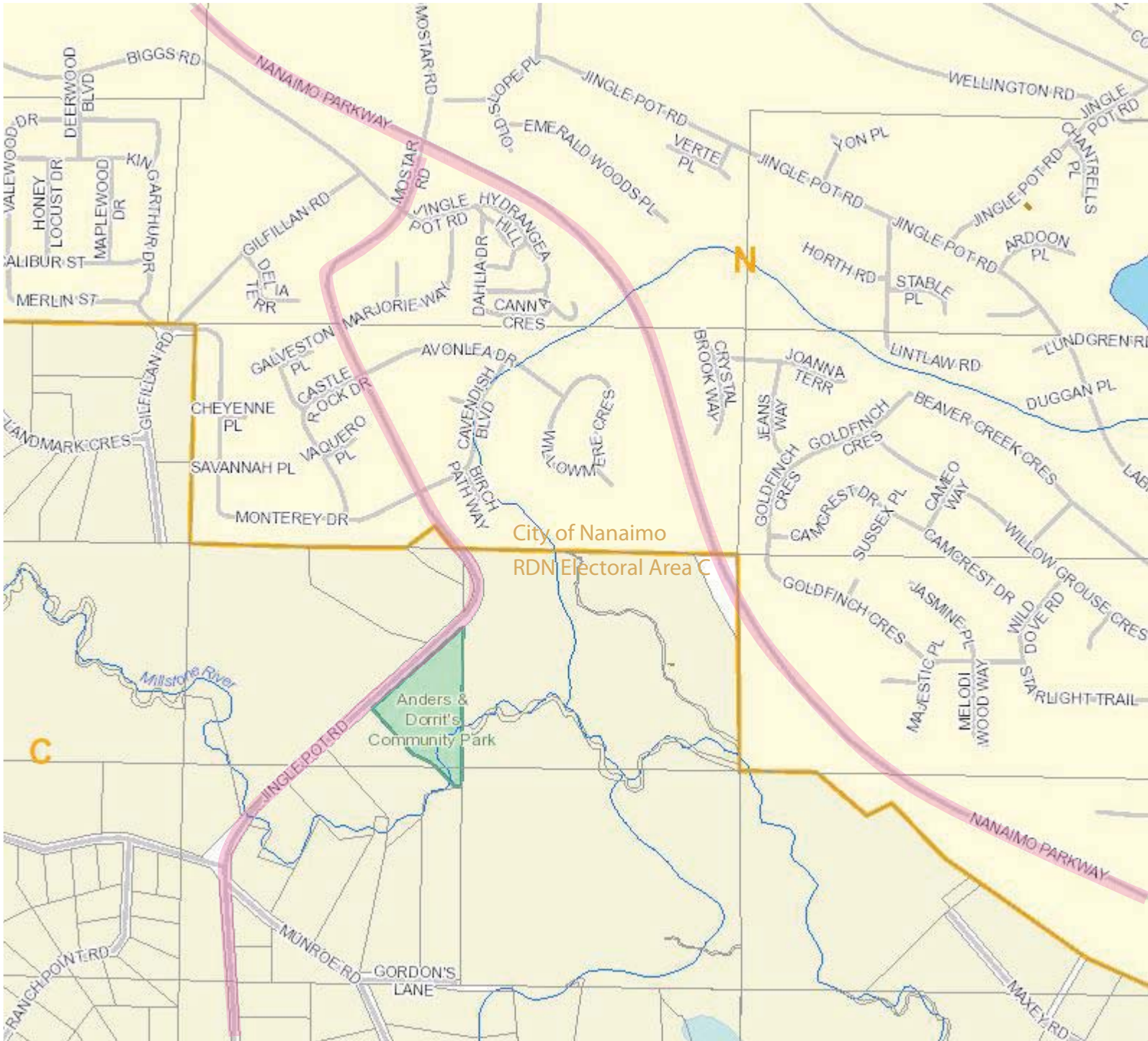
**G. Attachments**

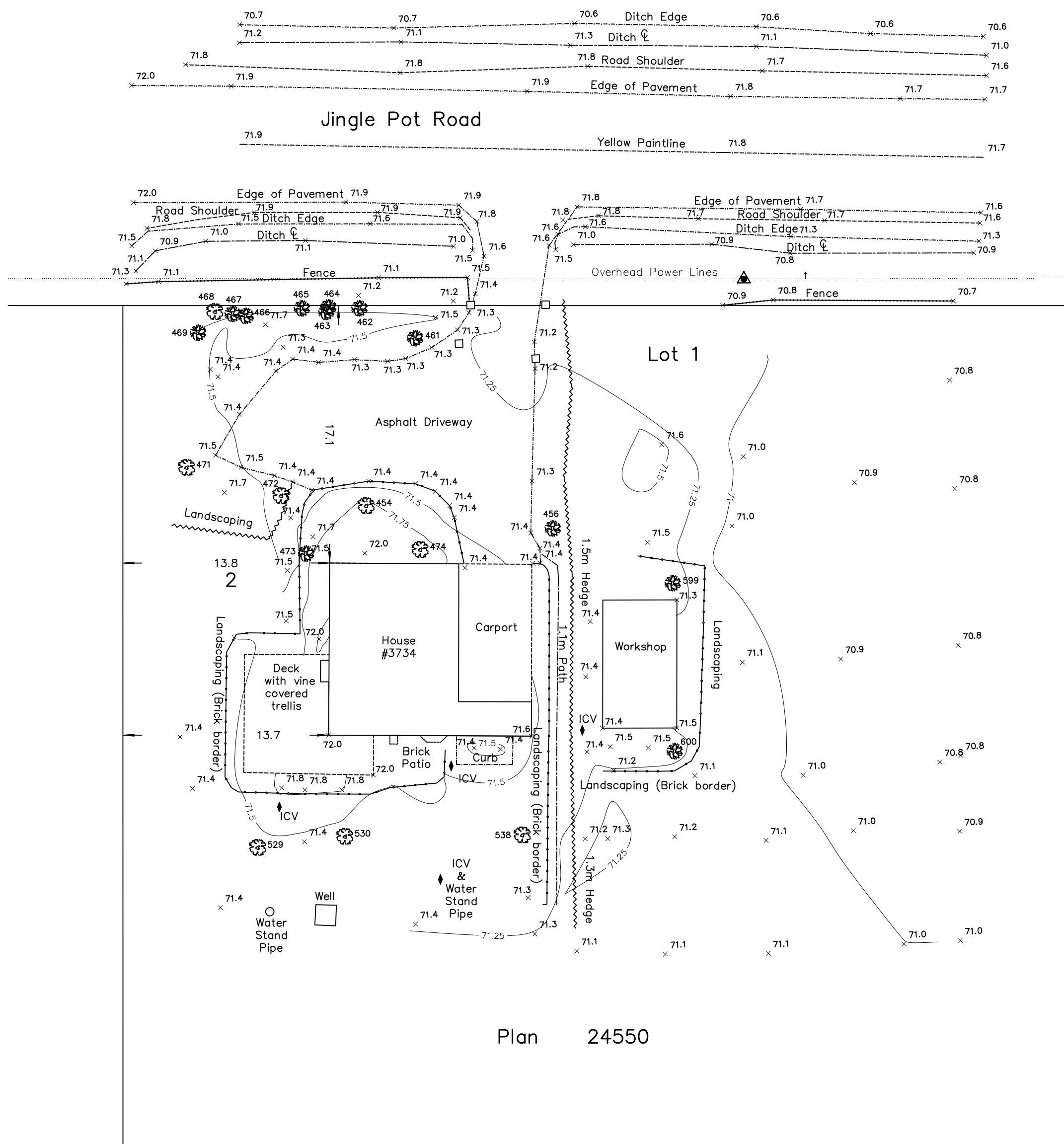
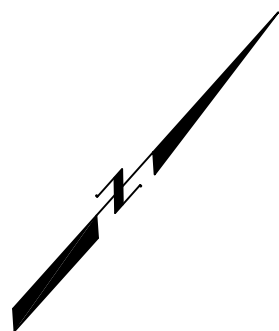
- a) Context Map
  - b) Site Survey
  - c) Concept Plan (prior to ALC input)
  - d) Revised Concept Plan (after ALC input)
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## Context Map - Anders & Dorrit's Community Park

3734 Jingle Pot Road

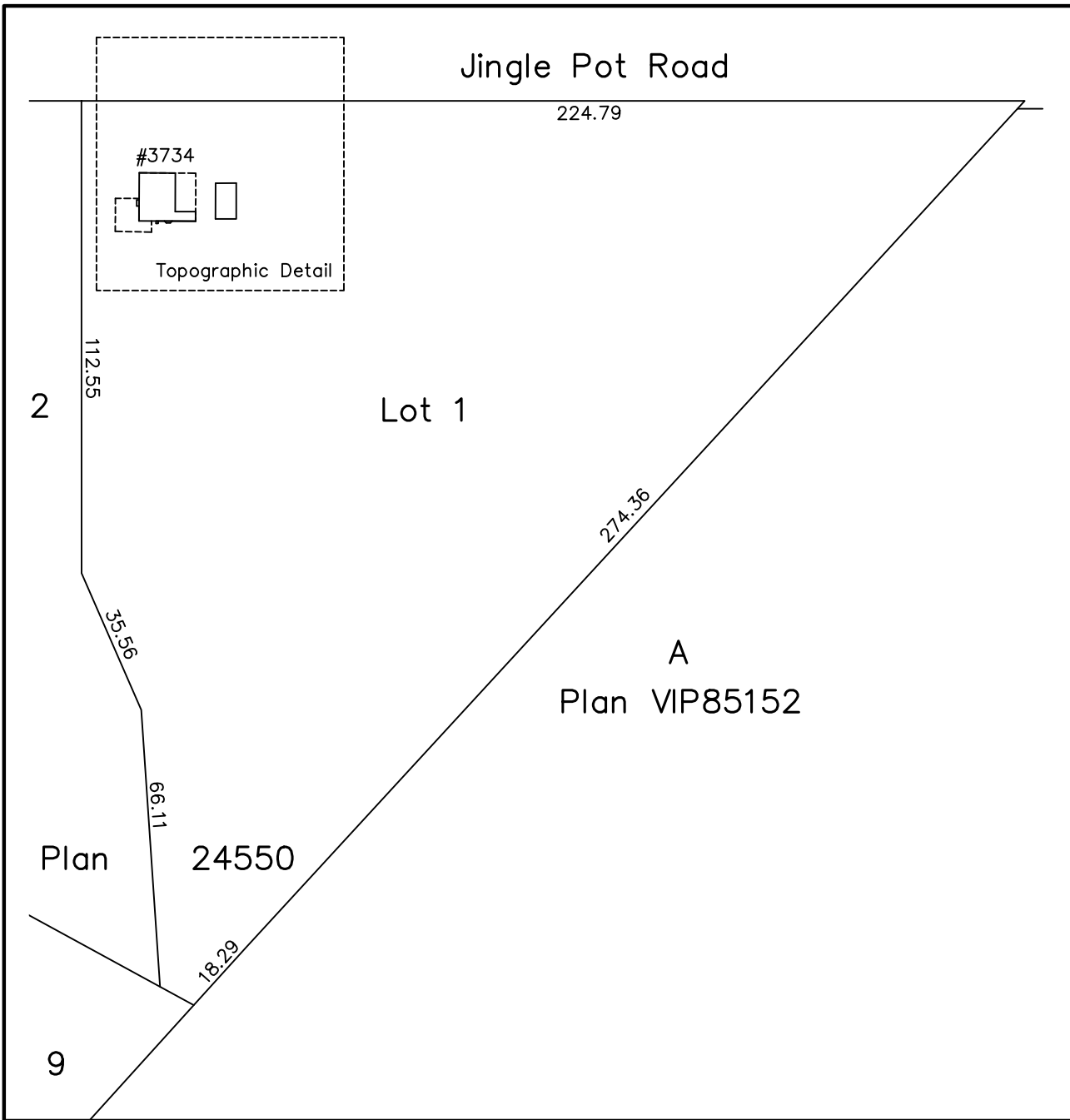
Access the park from the Nanaimo Parkway, either from the:  
Mostar Rd/Jingle Pot Rd and Nanaimo Parkway intersection (shown below) or from the  
Third St/ Jingle Pot Rd and Nanaimo Parkway intersection (not shown here).





Plan 24550

SUBJECT PROPERTY



TREE TABLE

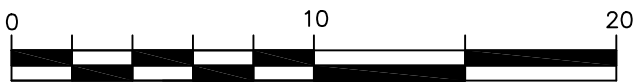
POINTNUMBER	DESCRIPTION
454	Deciduous 0.40
456	Coniferous 0.60
461	Coniferous 0.60
462	Coniferous 0.40
463	Coniferous 0.20
464	Coniferous 0.20
465	Coniferous 0.40
466	Coniferous 0.25
467	Coniferous 0.40
468	Deciduous 0.40
469	Coniferous 0.60
471	Deciduous 0.70
472	Deciduous 0.30
473	Coniferous 0.25
474	Deciduous 0.20
529	Deciduous 0.30
530	Deciduous 0.30
538	Deciduous 0.70
599	Coniferous 0.30
600	Coniferous 0.20

Legend

- BCHBCT Denotes BC Hydro/BC Telus Pole
- ICV Denotes Irrigation Control Valve
- Denotes Coniferous Tree
- Denotes Deciduous Tree
- 1 Denotes Pole Anchor
- Denotes Gate Post
- 71.0 x Denotes Spot Elevation

Topographic Site Plan showing part of:  
Lot 1, Sections 18 & 19, Range 4,  
Mountain District, Plan 24550.

Client: Regional District of Nanaimo	Civic Address: 3734 Jingle Pot Road
File: 14-103	Scale: 1:250
Date: September 19th, 2014	Drawn by: JGG



Scale 1:250  
Distances and elevations are in metres.  
Geodetic elevations are derived from control monument 96H2098.

Certified correct this 19th day of September, 2014.

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(This document is not valid unless originally signed and sealed.)

Turner land surveying

250.753.9778  
605 Comox Road  
Nanaimo, BC V9R 3J4

# Site Plan



A mown grass walking route provides access throughout the park



Small footbridges or culverts could be considered to allow year-round access to the River Walk



Seatwalls made of recycled materials and timber provide seats in the Lower Plaza



Salvaged brick is relaid to form the Upper Plaza



As possible, the large existing grape is retained with a new structure to support it



The picnic shelter could have gabion base details using recycled brick and concrete from site



Integrated solar panels could generate light at the picnic shelter



**Anders and Dorrit's Community Park**

**Main Activity Area Inset**



Geodetic elevations are derived from co-